

U.S. DEPARTMENT OF HOMELAND SECURITY  
FEDERAL EMERGENCY MANAGEMENT AGENCY

**PROJECT WORKSHEET**

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DECLARATION NO.	PW REF NO.	DATE	FIPS NO.	CATEGORY	EMMIE NO.
FEMA 4086 DR NJ	493011	06/06/13	025-04930-00	G	

APPLICANT WORK COMPLETED AS OF:

Belmar (Borough of)	DATE	PERCENT:
	6/6/13	90%

DAMAGED FACILITY COUNTY

Boardwalk Monmouth

LOCATION LATITUDE LONGITUDE

Belmar (Borough of) 40.18557 -74.01042

Was this site previously damaged?  Yes  No  Unsure

**DAMAGE DESCRIPTION AND DIMENSIONS:**

**DAMAGE DESCRIPTION**

On 10/29/2012 post-tropical storm Sandy made landfall near Atlantic City, New Jersey. The National Weather Service (NWS) reported storm surge along the New Jersey Shore in excess of fourteen (14) feet reported. The NWS also recorded sustained winds up to of eighty-eight (88) mph. During the incident period October 29, 2012 and continuing thru November 8, 2012, Sandy caused widespread damage throughout New Jersey including widespread power outages, severe coastal erosion, widespread flooding, and damage or destruction to public properties / infrastructure, and very large volumes of storm related debris. The president declared NJ a major disaster area on October 30, 2012 - assigned FEMA-4086-DR-NJ. Damages to Applicant's owned and maintained boardwalk addressed in this Sub-grant Application are as follows:

See DAMAGE DESCRIPTION AND DIMENSIONS continuation sheet ...

**SCOPE OF WORK:**

Fund at 75%

**WORK COMPLETED**

None

**WORK TO BE COMPLETED**

Applicant will use a combination of Force Account and Contract Services and Equipment to complete the following reconstruction and repairs:

See SCOPE OF WORK continuation sheet ...

**PROJECT COST**

ITEM	CODE	NARRATIVE	QUANTITY	UNIT	UNIT PRICE	COST
1	0000	WORK TO BE COMPLETED				\$ -
2	9000	CEF Cost Estimate	1.00	LS	\$10,186,390.00	\$ 10,186,390.00
3	9901	Direct Administrative Cost - Subgrantee (estimate)	8.00	Hour	\$98.22	\$ 785.76
						\$ -
						\$ -
						\$ -
						\$ -
						\$ -
						\$ -
						\$ -
						\$ -
SUBTOTAL FROM COST CONTINUATION PAGE(S)						\$ -
TOTAL PROJECT COST						\$ 10,187,175.76

PREPARED BY: James Wageman <i>[Signature]</i>	TITLE: Project Specialist
FEMA PAC CREW LEADER: Joseph Cabral <i>[Signature]</i>	STATE PAC CREW LEADER: Sgt TJ Wagner <i>[Signature]</i>
APPLICANT: Colleen Connolly <i>[Signature]</i>	DATE: 6/20/13
	PHONE: 732-681-3434

6/6/13  
#6048  
RB  
6/7/13

and

Page 1 of 5							
FEDERAL EMERGENCY MANAGEMENT AGENCY							
<b>DAMAGE DESCRIPTION &amp; SCOPE OF WORK</b>							
DECLARATION NO.		PW REF NO.		DATE	FIPS NO.	CATEGORY	EMMIE NO.
FEMA	4086	DR	NJ	493011	06/06/13	025-04930-00	G
APPLICANT						COUNTY	
Belmar (Borough of)						Monmouth	
DAMAGE DESCRIPTION & SCOPE OF WORK (CONTINUED):							
.... continued DAMAGE DESCRIPTION AND DIMENSIONS							
The entire boardwalk was damaged. The description and dimensions are provided in the following section.							
BOARDWALK (North GPS 40.185566, -74.010415) (South GPS 40.168565, -74.016534)							
The Belmar boardwalk trends north-south along the length of the town, extending from First Avenue at the north to 20th Avenue at the south. The boardwalk was 6,436 feet long by 20 feet to 30 feet wide, with a total surface area of approximately 190,000SF. The boardwalk was supported on a driven timber pile foundation in a series of two to four pile bents. The timber piles had a butt diameter of 8 to 12 inches and were 12 foot in length. The piles depth into the sandy soil was an estimated 9 to 10 feet.							
At the boardwalk width of 20 feet the number of piles was typically 3 per section and at the 24 to 30 foot width there were typically 4 piles per section. The sections were 14 feet on center. The 20 foot width had longitudinal length of 1,695 feet and the 24 to 30 foot width existed for 4,741 feet. Using these dimensions, the total number of piles was determined to be approximately 1,753. The timber piles appear to be creosoted treated.							
The piles were connected by 4 inch by 12 inch pressure treated wood girders, supporting 3 inch by 10 inch pressure treated wood stringers installed at 12 inch centers. The deck consisted of 2 inch by 6 inch composite wood decking placed in a parallel pattern perpendicular to the length of the boardwalk with a 5 foot wide "chair rail" in the center of the boardwalk where the boards were placed parallel to the length of the boardwalk.							
At 19 street intersections, the boardwalk included sets of ramps and stairs on the street-side and beachside of the boardwalk. Handrail existed at the stair and ramp locations. Handrails consisted of aluminum, galvanized metal or a combination of 4 inch by 4 inch by 42 inch long vertical wood posts every 5 feet with two horizontal rails comprised of 2 inch by 6 inch wood.							
The boardwalk included an electrical system in a buried PVC conduit and 60 two arm light poles, 16 feet tall. The boardwalk also contained a 3/4 inch diameter water services to drinking fountains and outdoor showers.							
Sand fencing existed along the beach on the seaside of the boardwalk. The sand fencing was estimated from air photos to be 9,500 feet long.							
See DAMAGE DESCRIPTION AND DIMENSIONS continuation sheet ...							
PREPARED BY: James Wageman					TITLE: Project Specialist		

FEDERAL EMERGENCY MANAGEMENT AGENCY

**DAMAGE DESCRIPTION & SCOPE OF WORK**

DECLARATION NO.				PW REF NO.	DATE	FIPS NO.	CATEGORY	EMMIE NO.
FEMA	4086	DR	NJ	493011	06/06/13	025-04930-00	G	
APPLICANT							COUNTY	
Belmar (Borough of)							Monmouth	

## DAMAGE DESCRIPTION &amp; SCOPE OF WORK (CONTINUED):

.... continued DAMAGE DESCRIPTION AND DIMENSIONS

## THE STORM SURGE CAUSED THE FOLLOWING BOARDWALK DAMAGES:

- Approximately 20 percent of the boardwalk piles were scoured out.
- The heads of the remaining piles were damaged by twisting of the stringers and girders by wave action.
- Approximately 1,753 piles were damaged and require replacement.
- Approximately 190,000 SF of boardwalk deck, stringers, and a majority of girders were washed from the supporting piles.
- 19 sets of street-side and beachside stairs and pedestrian ramps were damaged beyond repair. The street-side ramps are 6 feet wide by 22 feet long. The beachside ramps vary in length and were 6 feet wide by average of 23 feet long.
- 19 sets of railings located at the street-side stairs and ramps and at the beachside ramps were destroyed.
- Electrical system (1 inch and 2 inch PVC conduits and wires) buried below the boardwalk was damaged beyond repair.
- 60 two arm metal halide light poles, 16 feet tall, were damaged beyond repair.
- At 8 crossing locations, sewer, water, and electrical services below the boardwalk to beachside buildings and comfort stations were damaged beyond repair. These consisted of 4 to 6 inch PVC sewer pipe, 2 to 4 inch PVC water pipe and 3 to 4 inch PVC electrical conduits.
- 20 galvanized metal bicycle ramps, one at each stair ramp pair, were destroyed.
- 38 concrete trash receptacles, two at each stair ramp pair were destroyed.
- 83 concrete park benches were damaged; the benches consist of concrete pedestals with 2 inch by 4 inch by 8 foot long wood seats.
- Concrete vehicle ramps for beach access at 3rd Ave, 11th Ave, and 20th Ave were damaged by erosion undermining and differential settlement; 60 feet x 15 feet 6 inches thick, 3 locations.
- Concrete sidewalk, stairs and curbs adjacent to boardwalk were undermined and damaged.
- Asphalt pavement and parking striping adjacent to boardwalk was damaged.
- 9,500 LF of sand fencing was destroyed.

## PLAYGROUND EQUIPMENT

Four playgrounds located along the length of the boardwalk were damaged as follows:

- 4th Ave Playground (GPS 40.182956, -74.011177) - Playground equipment, consisting of climbing equipment, crawl tubes, slides and swings, were damaged by storm surge and debris and portions floated away.
- 8th Ave Playground (GPS 40.0178839, -74.012640) - Playground equipment, consisting of climbing equipment, crawl tubes, slides and swings, were damaged by storm surge and debris and portions floated away.
- 10th Ave Playground (GPS 40.176870, -74.0130401) - Playground equipment, consisting of climbing equipment, crawl tubes, slides and swings, were damaged by storm surge and debris and portions floated away.
- 17th Ave Playground (GPS 40.171727, -74.015266) - Playground equipment, consisting of climbing equipment, crawl tubes, slides and swings, were damaged by storm surge and debris and portions floated away.

Damages to the boardwalk and playground equipment are a result of the declared disaster.

End of Damage Description and Dimensions

PREPARED BY: James Wageman

TITLE: Project Specialist

FEDERAL EMERGENCY MANAGEMENT AGENCY

**DAMAGE DESCRIPTION & SCOPE OF WORK**

DECLARATION NO.				PW REF NO.	DATE	FIPS NO.	CATEGORY	EMMIE NO.
FEMA	4086	DR	NJ	493011	06/06/13	025-04930-00	G	

APPLICANT	COUNTY
Belmar (Borough of)	Monmouth

**DAMAGE DESCRIPTION & SCOPE OF WORK (CONTINUED):**

... continued SCOPE OF WORK

The applicant is replacing the boardwalk in the same footprint as the original boardwalk. This was confirmed from review of historic aerial photographs, available as-built plans and bid documents for the replacement project.

**SCOPE OF WORK TO BE COMPLETED BY CONTRACT SERVICES OR FORCE ACCOUNT IS AS FOLLOWS:**

- Replace approximately 1,753 timber piles
- Replace approximately 190,000 SF of girders, stringers, and boardwalk deck.
- Replace 19 sets of street-side and beachside stairs and pedestrian ramps.
- Replace 19 sets of railings located at street-side and beachside stairs and pedestrian ramps.
- Replace electrical system consisting of 1 to 2 inch PVC conduit and wires buried below the boardwalk and attached to the boardwalk.
- Replace 60 two arm light poles, 16 foot high.
- Replace eight (8) sewer, water, and electrical services crossing the boardwalk, including 4 to 6 inch PVC sewer pipe, 2 to 4 inch PVC water pipe and 3 to 4 inch PVC electrical conduits.
- Replace 20 galvanized metal bicycle ramps.
- Replace 40 concrete trash receptacles.
- Replace 83 concrete park benches.
- Replace 9,500 LF of sand fencing.
- Replace concrete vehicle ramps for beach access at 3rd Ave, 11th Ave, and 20th Ave, 60 feet x 15 feet x 6 inches thick, 2,700 SF total.
- Replace concrete sidewalk, stairs and curbs adjacent to boardwalk.
- Replace asphalt pavement and parking striping adjacent to boardwalk.
- Replace playground equipment, consisting of climbing equipment, crawl tubes and slides, at four locations.

**CODES AND STANDARDS:**

Codes and Standards necessary for the repair to reduce the potential for scour and uplift of the boardwalk and piles include the New Jersey Department of Environmental Protection in NJAC 7:7E "Coastal Zone Management Rules" (CZMR) (see Exhibit A). Published data from Section 7:7E-3A.5 of the CZMR specifies certain minimum requirements, including the following:

- Support piles should be driven at least 10 feet below mean sea level in V-zone locations
- Support joists and timber connections should be anchored through the use of hurricane clips or metal plates

FEMA agrees with the Codes and Standards upgrades. Remaining structural upgrade will be considered in a hazard mitigation proposal, see HMP. Replacement project also includes upgrades to the pedestrian ramps, stairs and handrails to meet current standards.

**BOARDWALK EXTENSION:**

The Applicant plans to extend the boardwalk from its original footprint to the south from 20th Street to North Boulevard. The extension is 470 feet by 20 feet wide, 410 feet by 20 feet of boardwalk and 60 feet by 20 feet of concrete (470 feet x 20 feet = 9,400 SF). The additional 9,400 SF will result in additional contract costs which will not be considered in the eligible portion of the replacement project.

See SCOPE OF WORK continuation sheet ...

PREPARED BY: James Wageman

TITLE: Project Specialist

FEDERAL EMERGENCY MANAGEMENT AGENCY

**DAMAGE DESCRIPTION & SCOPE OF WORK**

DECLARATION NO.				PW REF NO.	DATE	FIPS NO.	CATEGORY	EMMIE NO.
FEMA	4086	DR	NJ	493011	06/06/13	025-04930-00	G	

APPLICANT	COUNTY
Belmar (Borough of)	Monmouth

**DAMAGE DESCRIPTION & SCOPE OF WORK (CONTINUED):**

... continued SCOPE OF WORK

**ADDITIONAL NOTES:****PROCUREMENT:**

The applicant is required to adhere to state, county, and/or local government procurement rules and regulations and maintain adequate records to support the basis for all purchasing of goods and services.

**CEF:**

The estimated cost to repair the boardwalk was prepared using the FEMA Cost Estimating Format (CEF). Using the CEF program a reserve for change orders and applicant costs for A/E design, project management and permits were added.

When project worksheets are prepared for "large projects", those with budgets greater than \$65,700 for FY 1012, an adjustment must be made during the closeout process in order to match the actual eligible dollars spent with the estimate in the original project worksheet. This will require an amendment to the project worksheet to be prepared to capture the over-run/under-run.

**HAZARD MITIGATION:**

The applicant has requested a Hazard Mitigation Proposal at this site.

**DIRECT ADMINISTRATIVE COSTS:**

Direct Administrative costs were estimated at this time. Claimed DAC must be tracked, charged and accounted for. The costs must be both eligible and reasonable, Reference Disaster Assistance Policy DAP 9525.9, Section 324 Management Costs and Direct Administrative Costs, Section VII (D). (1).

**PERMITS:**

The PA Project Specialist has advised the applicant that it is their responsibility to obtain all local, state and Federal permits prior to any construction or debris disposal activity referenced on this project. The applicant has also been advised that not obtaining and maintaining these documents may jeopardize any Federal funding related to the declared disaster.

The applicant provided the attached CAFRA Individual Permit, Provision Permit, dated January 11, 2013, see Exhibit Q.

**SPECIAL CONSIDERATIONS:**

Any changes to the improved scope of work will require re-evaluation by the Environmental/Historic Preservation section of compliance with environmental and historic considerations under the National Environmental Policy Act. Non-compliance with this requirement may jeopardize the receipt of federal funding.

**DOCUMENTATION:**

The Project Specialist has reviewed documentation required for this PW and these documents are attached to the PW and on file at the Subgrantee's office. The Project Specialist has advised the Subgrantee to retain these records for a period of three (3) years from the date of closeout.

See SCOPE OF WORK continuation sheet ...

PREPARED BY: James Wageman

TITLE: Project Specialist

FEDERAL EMERGENCY MANAGEMENT AGENCY

**DAMAGE DESCRIPTION & SCOPE OF WORK**

DECLARATION NO.				PW REF NO.	DATE	FIPS NO.	CATEGORY	EMMIE NO.
FEMA	4086	DR	NJ	493011	06/06/13	025-04930-00	G	

APPLICANT	COUNTY
Belmar (Borough of)	Monmouth

DAMAGE DESCRIPTION & SCOPE OF WORK (CONTINUED):

... continued SCOPE OF WORK

LIST OF EXHIBITS INCLUDED IN THE PW:

- A – CODES AND STANDARDS LETTER
- B – COST ESTIMATE FOR EXTRA PILES
- C – AS-BUILT PLANS
- D – DECEMBER 2012 BID PLANS
- E – JANUARY 2013 CONSTRUCTION PLANS
- F – PLANS FOR ELECTRICAL WORK
- G – PLANS FOR UTILITY SERVICES AND CONCRETE RAMPS AND PADS
- H – PLANS FOR CONCRETE AND ASPHALT PAVEMENT AND STRIPING
- I – RAILING PLANS
- J – LIST OF PLAYGROUND EQUIPMENT
- K – DECEMBER 2012 BID RESULTS
- L – COUNCIL RESOLUTIONS FOR BOARDWALK CONTRACTS
- M – BID SCHEDULE & PORTION OF CONTRACT WITH EPIC MANAGEMENT
- N – CHANGE ORDER NO. 1 TO CONTRACT WITH EPIC MANAGEMENT
- O – CODES AND STANDARDS JUSTIFICATION LETTER FOR C.O. NO. 1
- P – INSPECTION AND DAMAGE ASSESSMENT BACK-UP
- Q - CAFRA PERMIT

----- END SCOPE OF WORK -----

PREPARED BY: James Wageman

TITLE: Project Specialist

FEDERAL EMERGENCY MANAGEMENT AGENCY

**SCOPE NOTES**

APPLICANT	PW REF NO.	CATEGORY	FIPS NO.	DISASTER	
Belmar (Borough of)	493011	G	025-04930-00	4086	NJ

Check next to appropriate comment for Data Specialist to add to the Scope of Work

Topic	Comment
Record Retention	Complete records and cost documents for all approved work must be maintained for at least 3 years from the date the last project was completed or from the date final payment was received, whichever is later.
Direct Administrative Costs	<input checked="" type="checkbox"/> Direct Administrative cost cannot be determined at this time. However, claimed DAC must be tracked, charged and accounted for. The costs must be both eligible and reasonable (Ref Disaster Assistance Policy DAP 9525.9, Section 324 Management Costs and Direct Administrative Costs, Section VII (D). (1).
Mitigation	No Mitigation Opportunities Identified because: <input type="checkbox"/> PW is for Emergency Work - Mitigation not eligible. <input type="checkbox"/> Work already completed and no add-on mitigation is feasible. <input type="checkbox"/> Mitigation not technically feasible. <input type="checkbox"/> Applicant has decided not to incorporate mitigation.
CEF	<input checked="" type="checkbox"/> This project was estimated using the Cost Estimated Format (CEF).
CEF - Not Used	This project was not estimated using the CEF because: <input type="checkbox"/> The PW is a small project. <input type="checkbox"/> The PW is for Emergency Work. <input type="checkbox"/> The work is greater than 90% complete at the time of inspection.
	<input type="checkbox"/>

PREPARED BY: James Wageman TITLE: Project Specialist

**SPECIAL CONSIDERATIONS**

DISASTER	APPLICANT NAME	PW REF NO.	FIPS NO.	DATE
4086 NJ	Belmar (Borough of)	493011	025-04930-00	06/06/13

Yes  N  Unsur facility or item of work have insurance and/or is it an insurable risk? (e.g., buildings, equipment, vehicles, etc.)

Buildings along boardwalk are insured.

Yes  N  Unsur facility located within a floodplain or coastal high hazard area, or does it have an impact on a floodplain or wetland?

Yes, see ABFE Map, Zone V, El 15ft, Asbury Park SE

Yes  N  Unsur

3. Is the damaged facility or item of work located within or adjacent to a Coastal Barrier Resource System Unit or an Otherwise Protected Area?

Yes  N  Unsur

4. Will the proposed facility repairs/reconstruction change the pre-disaster condition? (e.g., footprint, material, location, capacity, use or function)

Yes  N  Unsur

See Hazard Mitigation Proposal.

5. Does the applicant have a hazard mitigation proposal or would the applicant like technical assistance for a hazard proposal?

Yes  N  Unsur

See Hazard Mitigation Proposal.

Yes  N  Unsur facility on the National Register of Historic Places or the state historic listing? Is it older than 50 years? Are there more, similar buildings near the site?

Facility Constructed In:

Yes  N  Unsur

7. Are there any pristine or undisturbed areas on, or near, the project site? Are there large tracts of forestland?

Yes  N  Unsur

8. Are there any hazardous materials at or adjacent to the damaged facility and/or item of work?

Yes  N  Unsur

Existing piles appear to be creosote treated. Applicant shall dispose of hazardous materials in an approved disposal facility.

9. Are there any other environmentally or controversial issues associated with the damaged facility and/or item of work?

No, replacement of damaged facility will be in the footprint of the original boardwalk. CAFRA Permit is provided, see Exhibit Q.

10

Yes, located within 200ft of the Atlantic Ocean.

PREPARED BY: James Wageman



**HAZARD MITIGATION PROPOSAL (HMP) SUMMARY**

DISASTER		APPLICANT	PW REF NO.	FIPS NO.	CATEGORY
4086	NJ	Belmar (Borough of)	493011	025-04930-00	G

Mitigation activity will be performed on sites in this project.

If there is no mitigation activity explain why not.

Codes and Standards

Good Construction Practices

Mitigation Policy

15 percent

100 percent list

Benefit/Cost Ratio (Attach B/C analysis)

Other:

Enter cost of mitigation project as percent of in-kind repair or as dollar amount:

Dollar Amount:

Percent:

Check here if you wish to attach a Hazard-Mitigation Proposal

Prepared By: James Wageman

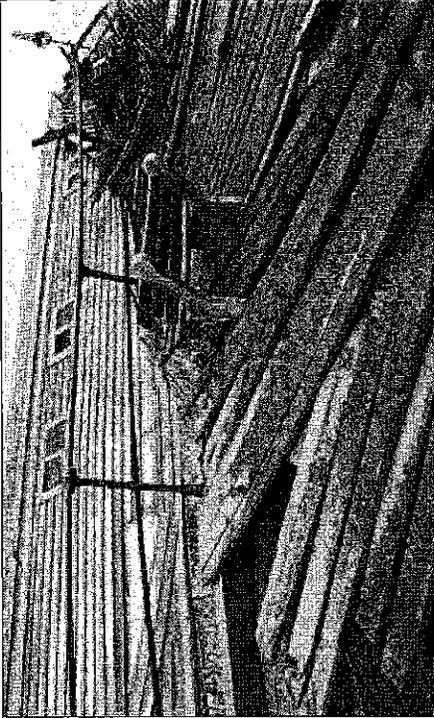
6/6/2013

PHOTO SHEET

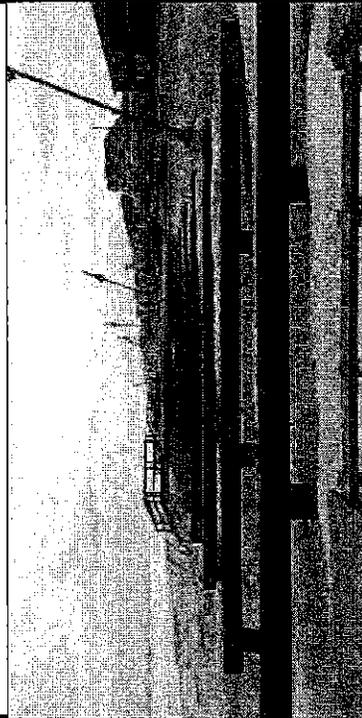
APPLICANT	Belmar (Borough)	CATEGORY	G
FIPS NO.	02604930-00	FWREFNO	0493014



Aerial view of south portion of Belmar boardwalk.



File photo, dated October 30, 2012. Belmar boardwalk after storm. Comfort station is in background.



File photo, dated October 30, 2012. Belmar boardwalk after storm.

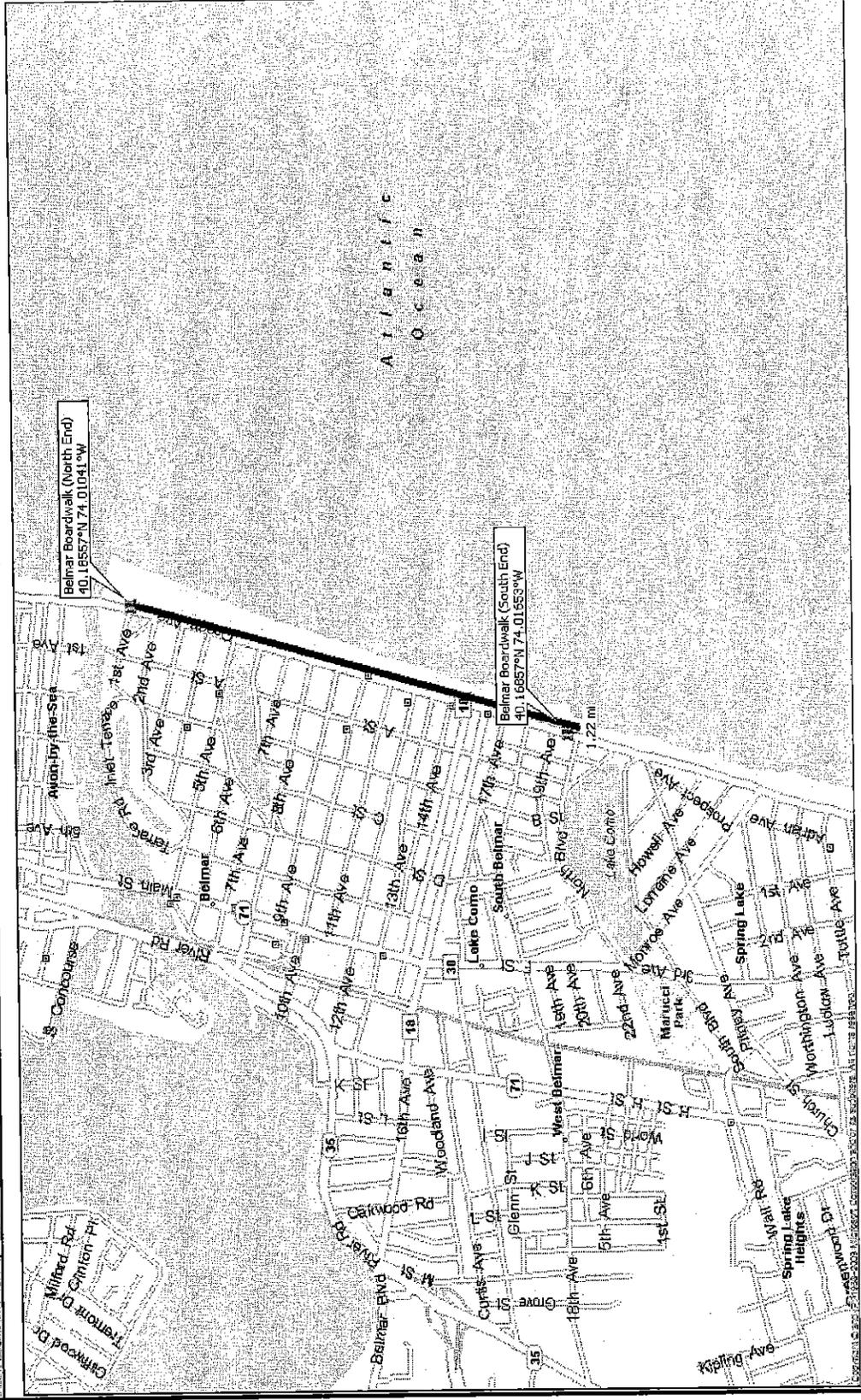


File photo, dated October 30, 2012. Belmar boardwalk after storm. Comfort station is in background.

FEDERAL EMERGENCY MANAGEMENT AGENCY

# LOCATION MAP

APPLICANT	Belmar (Borough)	CATEGORY	C
FIPS NO.	025-04930-00	PW REF NO.	0-93011







# CEF Fact Sheet

6/5/2013

## Belmar (Borough of) - Boardwalk

<b>Date of Estimate:</b>	June 5, 2013
<b>FEMA Region:</b>	2
<b>Preparer(s):</b>	James Wageman (Scott Dingelman)
<b>Applicant Name:</b>	Belmar (Borough of)
<b>Project Title:</b>	Boardwalk
<b>Damaged Facility:</b>	Boardwalk
<b>Declaration Number:</b>	4086
<b>Project Number:</b>	493011
<b>PA ID No.:</b>	025-04930-00
<b>Date of inspection:</b>	January 10, 2013
<b>Event Date(s)</b>	10/19/2012 through 11/8/2012
<b>Work Category:</b>	G
<b>Type of Work:</b> <small>(Enter New, Repair, etc.)</small>	1). Boardwalk
	2). Play Structures and Site Items
<b>Preparer's Notes:</b>	
<p>NOTES: (Sheet 1 of 2)</p> <p>The applicant has contracted with Epic Management under competitive bids to reconstruct the original footprint of the boardwalk from First Avenue to 20th Avenue and build an extension from 20th Avenue to North Boulevard. The boardwalk's original footprint is 6,436 feet long by 20 feet to 30 feet wide, with a surface area of approximately 190,000 SF. The boardwalk project square footage is 199,400 SF. The ratio of the original square footage to the project square footage was used to determine the eligible portion of the Epic Management contract.</p> <p>The project was competitive bid in December 2012 in order to reconstruct the boardwalk before the Memorial Day in 2013. The original bid document specified 215,000 SF of boardwalk and did not provide all of the necessary details for access ramps, electrical conduit and distribution wiring, light pole foundations and fixtures, utility services, concrete ramps, and sidewalks, asphalt paving and striping at the boardwalk interface to Ocean Avenue interface. Additional bid documents were competitively bid and change orders to Epic contract were negotiated.</p> <p>CHANGE ORDERS to Epic Management contract include:</p> <ul style="list-style-type: none"> <li>• CHANGE ORDER S-1: Deck Pattern and Support Revisions <ul style="list-style-type: none"> <li>o Original bid included installation of lpe hardwood decking. Due to environmental pressure the Borough switched to composite lumber (Trex) decking. Trex does not have nearly the strength of lpe and deck patterns (for added restraint to shear) and support revisions were necessary, see Exhibit O.</li> <li>o Work includes extension, deduction made in CEF.</li> </ul> </li> <li>• CHANGE ORDER S-2; Beach Access Ramp Revisions <ul style="list-style-type: none"> <li>o Extend seaside access ramps to conform to codes.</li> <li>o No ramps are proposed in the extension</li> </ul> </li> <li>• CHANGE ORDER S-3; Electric Conduits <ul style="list-style-type: none"> <li>o Replace the electrical system along length of boardwalk.</li> <li>o Work includes extension, deduction made in CEF (see continuation sheet).</li> </ul> </li> </ul>	

# CEF Fact Sheet (2)

6/5/2013

## Belmar (Borough of) - Boardwalk

<b>Date of Estimate:</b>	May 21, 2013
<b>FEMA Region:</b>	2
<b>Preparer(s):</b>	James Wageman (Scott Dingelman)
<b>Applicant Name:</b>	Belmar (Borough of)
<b>Project Title:</b>	Boardwalk
<b>Damaged Facility:</b>	Boardwalk
<b>Declaration Number:</b>	4086
<b>Project Number:</b>	493011
<b>PA ID No.:</b>	025-04930-00
<b>Date of Inspection:</b>	January 10, 2013
<b>Event Date(s)</b>	10/19/2012 through 11/8/2012
<b>Work Category:</b>	G
<b>Type of Work:</b> <i>(Enter New, Repair, etc.)</i>	1). Boardwalk - Bids Awarded 2). Play Structures and Site Items
<b>Preparer's Notes:</b>	
<p>NOTES: (Sheet 2 of 2)</p> <p>Additional CHANGE ORDER to Epic Management contract includes:</p> <ul style="list-style-type: none"> <li>• CHANGE ORDER S-4; Light Pole Foundations             <ul style="list-style-type: none"> <li>o Install 64 concrete light pole foundations.</li> <li>o 4 light pole foundations are part of the extension and a reduction is made in the CEF.</li> </ul> </li> </ul> <p>Additional contracts for the boardwalk replacement include:</p> <ul style="list-style-type: none"> <li>• Precise Construction – Utility Services and Concrete for Boardwalk</li> <li>• A&amp;A Curbing – Concrete, Paving and Striping (adjacent to boardwalk)</li> <li>• Mastercraft Iron - Railing for boardwalk stairs and ramps</li> <li>• Pemberton Electrical – Purchase of 64 two arm light poles, 16 foot high</li> <li>• Pemberton Electrical – Purchase of electrical distribution equipment</li> <li>• Maggio &amp; Son Electric – Electrical installation for boardwalk (Epic installed the conduit and light foundations)</li> <li>• Marturano Recreation – Playground equipment for four locations</li> </ul> <p>Except for the railing at the stairs and ramps and the playground equipment, above contracts include work in the boardwalk extension area. Reductions are made in the CEF.</p> <p>Applicant did not provide quantity of sand fencing in place before the storm and destroyed by the storm. FEMA estimated the quantity using scalable air photos. The applicant will need to provide this information during closeout and an adjustment will need to be made to the project worksheet.</p> <p>The applicant still needs to hire contract services and equipment to complete the following repairs:</p> <ul style="list-style-type: none"> <li>• Replace estimated 20 bicycle ramps.</li> <li>• Replace estimated 40 trash receptacles.</li> <li>• Replace estimated 83 park benches.</li> <li>• Replace estimated 9,500 LF of sand fencing.</li> </ul>	

# CEF Notes

6/5/2013

## Belmar (Borough of) - Boardwalk

<b>Damaged Facility:</b>	Boardwalk
<b>Applicant Name:</b>	Belmar (Borough of)
<b>Project Number:</b>	493011
<b>Date of Estimate:</b>	June 5, 2013
<b>Preparer(s):</b>	James Wageman (Scott Dingelman)
<b>Part A Notes:</b>	<p>A.1 - Unit costs for uncompleted permanent work are based on RSMeans Building Cost using CostWorks. Cost data updated to 1st quarter 2013. Location in CostWorks set as Long Branch, NJ. City Adjustment Factor is 1.0.</p> <p>A.2 -</p>
<b>Part B Notes:</b>	<p>B.1 - 1). Estimate includes a cost of 0% for safety and security since this should be included in the contractor's competitive bid.                      Estimate includes a cost of 0%, since this should be included in the contractor's competitive bid.                      Estimate includes a cost of 0%, since this should be included in the contractor's competitive bid.                      2). Estimate includes a cost of 0% for safety and security since this should be included in the contractor's competitive bid.                      Estimate includes a cost of 0%, since this should be included in the contractor's competitive bid.                      Estimate includes a cost of 0%, since this should be included in the contractor's competitive bid.</p> <p>B.2 - 1). General conditions costs are already in the contractor's competitive bid.                      2). General conditions costs have been included for site supervision and coordination of the general site items.</p>
<b>Part C Notes:</b>	<p>C.1 - 1). Estimate includes a contingency of 0.0% for design uncertainty since this should be included in the contractor's competitive bid.                      2). Estimate includes a contingency of 0.0% for design uncertainty since this should be included in the contractor's competitive bid.</p> <p>C.2 - 1). No constructability issues are expected since this is primarily a repair.                      2). No constructability issues are expected since this is primarily a repair.</p> <p>C.3 - 1). Costs for access, storage and staging are already included in the contractor's competitive bid.                      2). Costs for access, storage and staging are already included in the contractor's competitive bid.</p> <p>C.4 - No economies of scale 1). or 2).</p>
<b>Part D Notes:</b>	<p>D.1 - 1). Included in General Contractor's competitive bid.                      2). Included in General Contractor's competitive bid.</p> <p>D.2 - 1). Included in General Contractor's competitive bid.                      2). Included in General Contractor's competitive bid.</p> <p>D.3 - 1). Included in General Contractor's competitive bid.                      2). Included in General Contractor's competitive bid.</p>
<b>Part E Notes:</b>	<p>E - 1). No factor, construction underway                      2). No factor, construction underway</p>
<b>Part F Notes:</b>	<p>F.1 - No plan review fees anticipated for 1). or 2).</p> <p>F.2 - No permit fees anticipated for 1). or 2).</p>

# CEF Notes

6/5/2013

## Belmar (Borough of) - Boardwalk

<b>Part G Notes:</b>	G.1 -	1). Estimate includes a cost of 3% for changes in the eligible scope of work that may be encountered during the project due to uncertainty. 2). Estimate includes a cost of 5.5% for changes in the eligible scope of work that may be encountered during the project due to uncertainty.
<b>Part H Notes:</b>	H.1 -	1). Included in the factor for the design contract. 2). Included in the factor for the design contract.
	H.2 -	1). Estimate includes a cost of 8.2% for design services based on a project of average complexity as defined in the PA Guide, June 2007. 2). Estimate includes a cost of 3.0% for design services based on Basic Construction Inspection Services defined in the PAQ Guide, June 2007.
	H.3 -	1). Included in the factor for the design contract. 2). Included in the factor for the design contract.
<b>Miscellaneous Notes &amp; Comments:</b>		Reference to recommended values guidance provided in the CEF Instructional Guide, August 2009.

## CEF Part A

6/5/2013

### Belmar (Borough of) - Boardwalk

Item No.	Item Description Title / Component Description	Div. # or Cost Code	Qty	Units	Unit Price	City Adj Factor	Total Cost
<b>Completed Work Items</b>							
<b>Completed Permanent Items</b>							
					\$ -		\$ -
					\$ -		\$ -
					\$ -		\$ -
					\$ -		\$ -
					<b>Completed - Permanent Total</b>		\$ -
<b>Completed Non-Permanent Items</b>							
					\$ -		\$ -
					\$ -		\$ -
					\$ -		\$ -
					\$ -		\$ -

CEF Part A

6/5/2013

Belmar (Borough of) - Boardwalk

Item No.	Item Description Title / Component Description	Div. # or Cost Code	Qty	Units	Unit Price	City Adj Factor	Total Cost
<b>Completed - Non-Permanent Total</b>							\$ -
<b>Uncompleted Work Items</b>							
<b>Uncompleted Permanent Items</b>							
1	<b>1): Boardwalk/Competitively Bid Work Items</b>						
2	Replacement of damages: First Avenue to 20th Avenue = 6,436 ft and approximately 190,000 SF. Boardwalk reconstruction contract with Epic Management for composite decking: First Avenue to North Blvd includes extension of 470 LF x 20 Ft wide = 9,400 SF; Contract Total: 190,000 SF + 9,400 SF = 199,400 SF. Replace Original Footprint: (190,000/199,400) x \$5,160,000 = \$4,916,750; Minus Extra Piles (see Exhibit B): \$4,916,750 - \$304,500 = \$4,612,250 Eligible "in-kind" cost per square foot: \$4,612,250/190,000 SF = \$24.28/SF	9003	190,000.00	SF	\$ 24.28	1.00	\$ 4,613,200.00
3	Streetside access, stairs and ramps, Epic Management Change Order No.1 S-1 - Structural Support Revisions, Epic Management: \$1,017,544.50, includes work in boardwalk extension; Replace Original Footprint: (190,000/199,400) x \$1,017,544.50 = \$969,576 Minus Extra Straps and Screws for Extra Piles (see Exhibit B): \$969,576 - \$243,187.50 = \$726,388.50 Eligible "in-kind" cost per square foot = \$726,388.50/190,000 SF = \$3.82/SF	9003	3,750.00	SF	\$ 63.00	1.00	\$ 236,250.00
4	Change Order No.1 S-2 - Beach Access Ramp Revisions, Epic Management: \$879,809 First Avenue to 20th Avenue Streetside access reconstruction with composite decking. Based on plans, no streetside access facilities are along the boardwalk extension.	9003	1.00	LS	\$ 879,809.00	1.00	\$ 879,809.00
6	Change Order No.1 S-3 - Electrical Conduit, Epic Management: \$451,448 Includes work in boardwalk extension Costs per square foot = \$451,448/199,400SF = \$2.26. Eligible "in kind" portion is 190,000SF at \$2.26/SF	9003	190,000.00	SF	\$ 2.26	1.00	\$ 429,400.00
7	Change Order No.1 S-4; Light Pole Foundations, Epic Management: \$116,029.25 Based on plans, 4 of 64 light poles are located in the boardwalk extension. Cost per light pole foundation = \$116,029.25/64 = \$1,812.96/light pole foundation Eligible "in kind" portion is 60 at \$1,812.96 EA	9003	60.00	EA	\$ 1,812.96	1.00	\$ 108,777.60
8	Utility Services and Concrete for Boardwalk, Precise Construction: \$468,375 Includes work in boardwalk extension Costs per square foot = \$468,375/199,400SF = \$2.35. Eligible "in kind" portion is 190,000SF at \$2.35/SF	9003	190,000.00	SF	\$ 2.35	1.00	\$ 446,500.00
9	Concrete, Paving and Striping to Ocean Avenue (adjacent to boardwalk), A&A Curbing: \$343,208 Includes work in boardwalk extension Costs per square foot = \$343,208/199,400SF = \$1.72. Eligible "in kind" portion is 190,000 SF at \$1.72/SF	9003	190,000.00	SF	\$ 1.72	1.00	\$ 326,800.00
10	Railing for Boardwalk Stairs and Ramps, Mastercraft Iron: \$265,845 Based on plans, no stairs and ramps access facilities are along the boardwalk extension.	9003	1.00	LS	\$ 265,845.00	1.00	\$ 265,845.00
11	Purchase of boardwalk light poles, Pemberton Electrical Supply: \$368,473.70 Based on plans, 4 of 64 light poles are located in the boardwalk extension. Cost per light pole foundation = \$368,473.70/64 = \$5,757.40/light pole Eligible "in kind" portion is 60 at \$5,757.40 EA	9003	60.00	EA	\$ 5,757.40	1.00	\$ 345,444.00

CEF Part A

6/5/2013

Belmar (Borough of) - Boardwalk

Item No.	Item Description Title / Component Description	Div. # or Cost Code	Qty	Units	Unit Price	City Adj Factor	Total Cost
12	Purchase of electrical distribution equipment, Pemberton Electrical Supply: \$52,691.92 Includes work in boardwalk extension Costs per square foot = \$52,691.92/199,400SF = \$0.26. Eligible "in kind" portion is 190,000SF at \$0.26/SF	9003	190,000.00	SF	\$ 0.26	1.00	\$ 49,400.00
13	Electrical installation for boardwalk (excluding conduit in CO S-3), Maggio & Son Electric: \$225,000 Includes work in boardwalk extension Costs per square foot = \$225,000/199,400SF = \$1.13. Eligible "in kind" portion is 190,000SF at \$1.13/SF	9003	190,000.00	SF	\$ 1.13	1.00	\$ 214,700.00
14							<b>Uncompleted Boardwalk Bid Items and Change Orders - Total</b> \$ 8,641,925.60
15							
16	<b>2). Play Structures and General Site Items</b>						
17	Playground Equipment Purchase, four sites. 4th Ave, 8th Ave, 10th Ave and 17th Ave	9003	1.00	LS	\$ 324,000.00	1.00	\$ 324,000.00
18	Benches; Site seating, park benches, precast concrete, with backs, wood rails, 8ft long; 83 units	12934 313 0100	83.00	EA	\$ 1,066.00	1.00	\$ 88,478.00
19	Trash Receptacles; Refuse receptacle; Trash receptacles, concrete, precast, sandblasted, 2' to 2-1/2' wide, 3' high, 40 units	12 93 2310 2000	40.00	EA	\$ 746.50	1.00	\$ 29,860.00
20	Bike Racks; permanent, 10' long, 20 units	1168 1310 0200	20.00	EA	\$ 499.50	1.00	\$ 9,990.00
21	Sand fence; Snow fence on wood posts, 10ft OC, 4ft high, includes 2ft below ground; Estimate from air photos 9,500ft	0258 1310 7001	9,500.00	EA	\$ 3.18	1.00	\$ 30,210.00
22							<b>Uncompleted - Play Structures and General Site Items</b> \$ 482,538.00
							<b>Uncompleted - Permanent Total</b> \$ 9,124,463.60
	<b>Uncompleted Non-Permanent Items</b>						
					\$ -		\$ -
					\$ -		\$ -
					\$ -		\$ -
							\$ -
							<b>Uncompleted - Non-Permanent Total</b> \$ -

**CEF Summary of Uncompleted Work**

6/5/2013

**Belmar (Borough of) - Boardwalk**

		1) Boardwalk	2) Play Structures and Site Items	\$	-	\$	-	\$	-	Total																																		
<b>A "Base Costs" for Construction Work-In Trades</b>																																												
A.1	Permanent Work (CEF Part A)	\$ 8,641,926	\$ 482,538			\$ -		\$ -		\$ 9,124,464																																		
A.2	Non-Permanent Job Specific Work (CEF Part A)									\$ -																																		
<b>Part A Total</b>		<b>\$ 8,641,926</b>	<b>\$ 482,538</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ 9,124,464</b>																																		
<b>B General Requirements and General Conditions</b>																																												
B.1	<b>General Requirements</b>	<table border="1"> <thead> <tr> <th></th> <th>Guide Low to High</th> <th colspan="4">Enter % in Appropriate Column</th> </tr> </thead> <tbody> <tr> <td>Safety &amp; Security</td> <td>4% 6.0%</td> <td>0.0%</td> <td>0.0%</td> <td></td> <td></td> </tr> <tr> <td>Temporary Services &amp; Utilities</td> <td>0% 1.0%</td> <td>0.0%</td> <td>0.0%</td> <td></td> <td></td> </tr> <tr> <td>Quality Control</td> <td>0% 1.0%</td> <td>0.0%</td> <td>0.0%</td> <td></td> <td></td> </tr> <tr> <td>Submittals</td> <td>0% 5.0%</td> <td>0.0%</td> <td>0.0%</td> <td></td> <td></td> </tr> <tr> <td colspan="2"></td> <td>\$ -</td> <td>\$ -</td> <td>\$ -</td> <td>\$ -</td> </tr> </tbody> </table>			Guide Low to High	Enter % in Appropriate Column				Safety & Security	4% 6.0%	0.0%	0.0%			Temporary Services & Utilities	0% 1.0%	0.0%	0.0%			Quality Control	0% 1.0%	0.0%	0.0%			Submittals	0% 5.0%	0.0%	0.0%					\$ -	\$ -	\$ -	\$ -					
	Guide Low to High	Enter % in Appropriate Column																																										
Safety & Security	4% 6.0%	0.0%	0.0%																																									
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Submittals	0% 5.0%	0.0%	0.0%																																									
		\$ -	\$ -	\$ -	\$ -																																							
B.2	<b>General Conditions (4.25%)</b>	\$ -	\$ 20,508	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 20,508																																		
<b>Part B Total</b>		<b>\$ -</b>	<b>\$ 20,508</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ 20,508</b>																																		
<b>PART A through B SUBTOTAL</b>		<b>\$ 8,641,926</b>	<b>\$ 503,046</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ 9,144,971</b>																																		
<b>C Construction Cost Contingencies</b>																																												
C.1	<b>Design-Phase Scope Contingencies</b>	<table border="1"> <thead> <tr> <th></th> <th>Guide Low to High</th> <th colspan="4">Enter % in Appropriate Column</th> </tr> </thead> <tbody> <tr> <td>Preliminary Engineering Analysis</td> <td>7.0% 20.0%</td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td>Working Drawings</td> <td>2.0% 10.0%</td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td colspan="2"></td> <td>\$ -</td> <td>\$ -</td> <td>\$ -</td> <td>\$ -</td> </tr> </tbody> </table>			Guide Low to High	Enter % in Appropriate Column				Preliminary Engineering Analysis	7.0% 20.0%					Working Drawings	2.0% 10.0%							\$ -	\$ -	\$ -	\$ -																	
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Working Drawings	2.0% 10.0%																																											
		\$ -	\$ -	\$ -	\$ -																																							
C.2	<b>Facility or Project Constructability</b>	<table border="1"> <thead> <tr> <th></th> <th>Guide</th> <th colspan="4">Enter % in Appropriate Column</th> </tr> </thead> <tbody> <tr> <td>Facility or Project Type and Complexity</td> <td>See IG for Values</td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td colspan="2"></td> <td>\$ -</td> <td>\$ -</td> <td>\$ -</td> <td>\$ -</td> </tr> </tbody> </table>			Guide	Enter % in Appropriate Column				Facility or Project Type and Complexity	See IG for Values							\$ -	\$ -	\$ -	\$ -																							
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		\$ -	\$ -	\$ -	\$ -																																							
C.3	<b>Access, Storage &amp; Staging</b>	<table border="1"> <thead> <tr> <th></th> <th>Guide Low to High</th> <th colspan="4">Enter % in Appropriate Column</th> </tr> </thead> <tbody> <tr> <td>Access Contingencies</td> <td>0.0% 4.0%</td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td>Storage Contingencies</td> <td>0.0% 4.0%</td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td>Staging Contingencies</td> <td>0.0% 4.0%</td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td colspan="2"></td> <td>\$ -</td> <td>\$ -</td> <td>\$ -</td> <td>\$ -</td> </tr> </tbody> </table>			Guide Low to High	Enter % in Appropriate Column				Access Contingencies	0.0% 4.0%					Storage Contingencies	0.0% 4.0%					Staging Contingencies	0.0% 4.0%							\$ -	\$ -	\$ -	\$ -											
	Guide Low to High	Enter % in Appropriate Column																																										
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Staging Contingencies	0.0% 4.0%																																											
		\$ -	\$ -	\$ -	\$ -																																							
C.4	<b>Economies of Scale</b>																																											
<b>Part C Total</b>		<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>																																		
<b>PART A through C SUBTOTAL</b>		<b>\$ 8,641,926</b>	<b>\$ 503,046</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ 9,144,971</b>																																		
<b>D General Contractor's Overhead and Profit</b>																																												
D.1	<b>GC's Home Office Overhead</b>	7.7%																																										
			\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -																																		
D.2	<b>GC's Insurance, Payment &amp; Performance Bonds</b>	3.3%																																										
			\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -																																		
D.3	<b>General Contractor's Profit</b>																																											
			0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%																																			
New Construction																																												
Repair/Re-Equipt																																												
			\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -																																		
<b>Part D Total</b>		<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>																																		
<b>PART A through D SUBTOTAL</b>		<b>\$ 8,641,926</b>	<b>\$ 503,046</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ 9,144,971</b>																																		

**CEF Summary of Uncompleted Work**

6/5/2013

Belmar (Borough of) - Boardwalk							
	1). Boardwalk	2). Play Structures and Site Items	\$ -	\$ -	\$ -	\$ -	<b>Total</b>
<b>E Cost Escalation Factors</b>							
Cost Escalation Factor	Months						
	Monthly Factor						
Part E Total		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
<b>PART A through E SUBTOTAL</b>		\$ 8,641,926	\$ 503,046	\$ -	\$ -	\$ -	\$ 9,144,971
<b>F Plan Review and Permit Construction Cost</b>							
F.1	Plan Review Fees						
	(List Individual Requirements Separately)						
Part F.1 Total		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
F.2	Construction Permit Fees						
	(List Individual Requirements Separately)						
Part F.2 Total		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
<b>PART A through F SUBTOTAL</b>		\$ 8,641,926	\$ 503,046	\$ -	\$ -	\$ -	\$ 9,144,971
<b>G Applicant's Reserve for Change Orders</b>							
Applicant's Reserve for Change Orders		3.0%	5.5%	7.0%	7.0%	7.0%	
Part G Total		\$ 259,258	\$ 27,639	\$ -	\$ -	\$ -	\$ 286,897
<b>PART A through G SUBTOTAL</b>		\$ 8,901,183	\$ 530,685	\$ -	\$ -	\$ -	\$ 9,431,869
<b>H Applicant's Project Management And Design Costs</b>							
H.1	Applicant's Project Management - Design Phase	1.0%					
Part H.1 Total		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
H.2	A/E Design Contract Applicability						
	Above Average Complexity (Curve A)	8.5%	18.5%	5.6%	5.6%	5.6%	
	Average Complexity (Curve B)	8.3%	11.9%	4.5%	4.5%	5.6%	
	Basic Construction Inspection Services	3.0%	3.0%	3.0%	3.0%	3.0%	
A/E Design Contract Cost							
	Above Average Complexity (Curve A)	\$ -	\$ -	\$ -	\$ -	\$ -	
	Average Complexity (Curve B)	\$ 738,601	\$ -	\$ -	\$ -	\$ -	
	Basic Construction Inspection Services	\$ -	\$ 15,921	\$ -	\$ -	\$ -	
Part H.2 Total		\$ 738,601	\$ 15,921	\$ -	\$ -	\$ -	\$ 754,522
H.3	Project Management - Construction Phase						
		3.0%	5.7%	6.0%	6.0%	6.0%	
Part H.3 Total		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
<b>PART A through H SUBTOTAL</b>		\$ 9,639,785	\$ 546,606	\$ -	\$ -	\$ -	\$ 10,186,390
<b>TOTAL OF UNCOMPLETED WORK</b>							<b>\$ 10,186,390</b>

# CEF Total Project Summary

6/5/2013

## Summary

### Belmar (Borough of) - Boardwalk

		Completed	Uncompleted	Total
<b>Complete Project Total for Completed and Uncompleted Work</b>		\$ -	\$ 10,186,390	\$ 10,186,390
<b>PART A</b>	<b>"Base Costs" for Construction Work In Trades</b>	\$ -	\$ 9,124,464	\$ 9,124,464
	A.1 Permanent Work	\$ -	\$ 9,124,464	\$ 9,124,464
	A.2 Non-Permanent Job Specific Work (CEF Part A)	\$ -	\$ -	\$ -
<b>PART B</b>	<b>General Requirements and General Conditions</b>	\$ -	\$ 20,508	\$ 20,508
	B.1 General Requirements	\$ -	\$ -	\$ -
	B.2 General Conditions	\$ -	\$ 20,508	\$ 20,508
<b>PART C</b>	<b>Construction Cost Contingencies (Design and Construction)</b>	\$ -	\$ -	\$ -
	C.1 Standard Design-Phase Scope Contingencies	\$ -	\$ -	\$ -
	C.2 Facility or Project Constructability	\$ -	\$ -	\$ -
	C.3 Access, Storage, and Staging Contingencies	\$ -	\$ -	\$ -
	C.4 Economies of Scale in New Construction	\$ -	\$ -	\$ -
<b>PART D</b>	<b>General Contractor's Overhead and Profit</b>	\$ -	\$ -	\$ -
	D.1 General Contractor's Home Office Overhead Costs	\$ -	\$ -	\$ -
	D.2 General Contractor's Insurance, Payment, and Performance Bonds	\$ -	\$ -	\$ -
	D.3 Contractor's Profit	\$ -	\$ -	\$ -
<b>PART E</b>	<b>Cost Escalation Allowance</b>	\$ -	\$ -	\$ -
<b>PART F</b>	<b>Plan Review and Construction Permit Costs</b>	\$ -	\$ -	\$ -
	F.1 Plan Review Fees	\$ -	\$ -	\$ -
	F.2 Construction Permit Fees	\$ -	\$ -	\$ -
<b>PART G</b>	<b>Applicant's Reserve for Construction</b>	\$ -	\$ 286,897	\$ 286,897
<b>PART H</b>	<b>Applicant's Project Management and Design Costs</b>	\$ -	\$ 754,522	\$ 754,522
	H.1 Applicant's Project Management - Design Phase	\$ -	\$ -	\$ -
	H.2 Architecture & Engineering Design Contract Costs	\$ -	\$ 754,522	\$ 754,522
	H.3 Project Management - Construction Phase	\$ -	\$ -	\$ -



**BIRDSALL SERVICES GROUP**  
ENGINEERS & CONSULTANTS

**EXHIBIT A**  
**CODES & STANDARDS**  
**LETTER**

*VIA E-MAIL & REGULAR MAIL*

February 19, 2013

Job No.: 00002-117000

Borough of Belmar  
601 Main Street  
Belmar, NJ 07719

Attn: Colleen Connolly, Borough Administrator

Re: **Belmar Boardwalk**  
**Design Codes and Standards**

Dear Ms. Connolly:

Birdsall Services Group (BSG) has performed a cost-efficient and code-compliant design of the proposed Belmar boardwalk, inclusive of all ramps, stairs, and platforms. The design of this boardwalk is in strict conformance with all applicable structural design standards suitable for boardwalk construction.

The primary design criteria, structural design, and accessibility compliance have been determined in conformance with the following codes:

- New Jersey Uniform Construction Code (NJUCC)
- 2009 International Building Code, NJ Edition (IBC)
- ASCE 7-05: Minimum Design Loads for Buildings and Other Structures
- ASCE 24-05: Flood Resistant Design and Construction
- AASHTO LRFD Bridge Design Specifications, 5<sup>th</sup> Edition
- AASHTO Guide Specifications for Design of Pedestrian Bridges
- ANSI/AF&PA NDS-2005: National Design Specification for Wood Construction
- ICC/ASI A117.1-2003 American National Standard: Accessible and Usable Buildings and Facilities
- NJAC 7:7E Coastal Zone Management Rules

From these codes and their referenced standards, the loading criteria for the design of the boardwalk were determined to be as follows:



- Dead load: Actual weights of girders, joists, decking, railings, etc.
- Live load:
  - Boardwalk = 85 pounds per square foot (psf) (loading requirement per AASHTO for elevated walkways)
  - Stairs = 100 psf (IBC)
- Wind load (IBC/ASCE 7-05):
  - Basic wind speed (3-second gust),  $V = 115$  miles per hour
  - Exposure Category C
  - Importance Factor = 1.00
- Seismic load (IBC/ASCE 7-05):
  - Site Class D
  - Mapped spectral acceleration for short periods,  $S_s = 0.30g$
  - Mapped spectral acceleration for 1-second period,  $S_1 = 0.06g$
- Flood load (IBC/ASCE 7-05):
  - V-Zone waves – 3 feet or higher
  - Erosion and scour included in design
  - Impact loads considered in design
  - Hydrostatic, hydrodynamic loads, wave loads, and breaking wave loads all have been included in design

Additionally, the boardwalk has been designed in complete conformance with the regulations set forth by the New Jersey Department of Environmental Protection in NJAC 7:7E "Coastal Zone Management Rules". Section 7:7E-3A.5 reads as follows:

- (a) The construction of oceanfront or bayfront boardwalks should address a number of engineering concerns related to structural support, resistance to vertical and horizontal water and wind loads, and scouring. The construction of boardwalks along tidal shoreline is acceptable, in accordance with the following standards:



**BIRDSALL SERVICES GROUP**  
ENGINEERS & CONSULTANTS

Borough of Belmar  
Colleen Connolly  
February 19, 2013  
Page 3 of 3  
Job No. 00002-117000

1. All timber support piles shall be a minimum of eight inches (8") in diameter;
2. Support piles should be driven to a depth of at least -10 feet (mean sea level), for all V-zone locations. In A-zones, the depth of penetration should be at least -five feet (5') (mean sea level);
3. The method for insertion of piles should be a pile driver or drop hammer;
4. All support joists and timber connections should be anchored through the use of hurricane clips or metal plates; and
5. All metal fasteners, including but not limited to bolts, screws, plates, clips, anchors and connectors, shall be hot dipped galvanized.

Finally, the boardwalk and all associated ramps and stairs are designed in full compliance with ADA regulations per "ICC/ASI A117.1-2003 American National Standard: Accessible and Usable Buildings and Facilities", including, but not limited to, ramp slopes, stair tread and riser dimensions, handrail design and dimensions, and surface materials.

Please feel free to let me know if you have any comments or questions and I would be happy to address them. You can reach me at 732-380-1700, Extension 1274 or at [rmaloney@birdsall.com](mailto:rmaloney@birdsall.com) if you require any further assistance.

Very truly yours,

**BIRDSALL SERVICES GROUP, INC.**

A large, stylized handwritten signature in black ink, appearing to read "RMaloney".

Richard C. Maloney, P.E.  
Senior Vice President - Transportation/Structural Services

RCM:lkc

cc: Chris Priest, Witt Associates

**EXHIBIT B**  
**COST ESTIMATE**  
**FOR EXTRA PILES**

**Belmar - Boardwalk Extra Piles, Straps and Screws**

Item No.	Item Description Title / Component Description	Div. # or Cost Code	Qty	Units	Unit Price	City Adj Factor	Total Cost
<b>Extra Piles, Straps and Screws (see NOTES below)</b>							
<b>Extra 25 Ft long Piles</b>							
1	Timber piles, treated wood pile, C.C.A., 2.5 lb /C.F., 21' - 35' long, 12" bulbs, excludes mobilization or demobilization	31 62 1910 1680	10,875	V.L.F.	\$ 28.00	1.0000	\$ 304,500.00
<b>Replacement Sub-Total</b>							\$ 304,500.00
<b>Extra Straps and Screws</b>							
1	Bolt, hex head, plain steel, 3/4" dia x 12" L, A307, incl nut & washer (25% of 1,800 required for CO No.1)	05 05 2310 2700	450	Ea.	\$ 14.70	1.0000	\$ 6,615.00
2	Timber connectors, split rings, twist straps, 18 gauge, 16" x 1-1/4" (25% of 1,800 required for CO No.1)	06 05 2 360 4580	450	Ea.	\$ 9.05	1.0000	\$ 4,072.50
3	Machine screw, steel, round head, #10 x 2" L (25% of 300,000 required for CO No.1)	05 05 2335 0300	750	C	\$ 310.00	1.0000	\$ 232,500.00
<b>Replacement Sub-Total</b>							\$ 243,187.50
<b>Replacement Project Total</b>							\$ 547,687.50

**NOTES:**

**1. Number of Piles - Original Footprint with Codes & Standards:**

25 Ft long Piles, 14 Ft OC  
(3 per 20 Ft width, 1,695 LF; 4 per 24 -30 Ft width, 4,741 LF), Total: 1,753 Piles

**2. Number of Piles - Replacement Project within Original Footprint:**

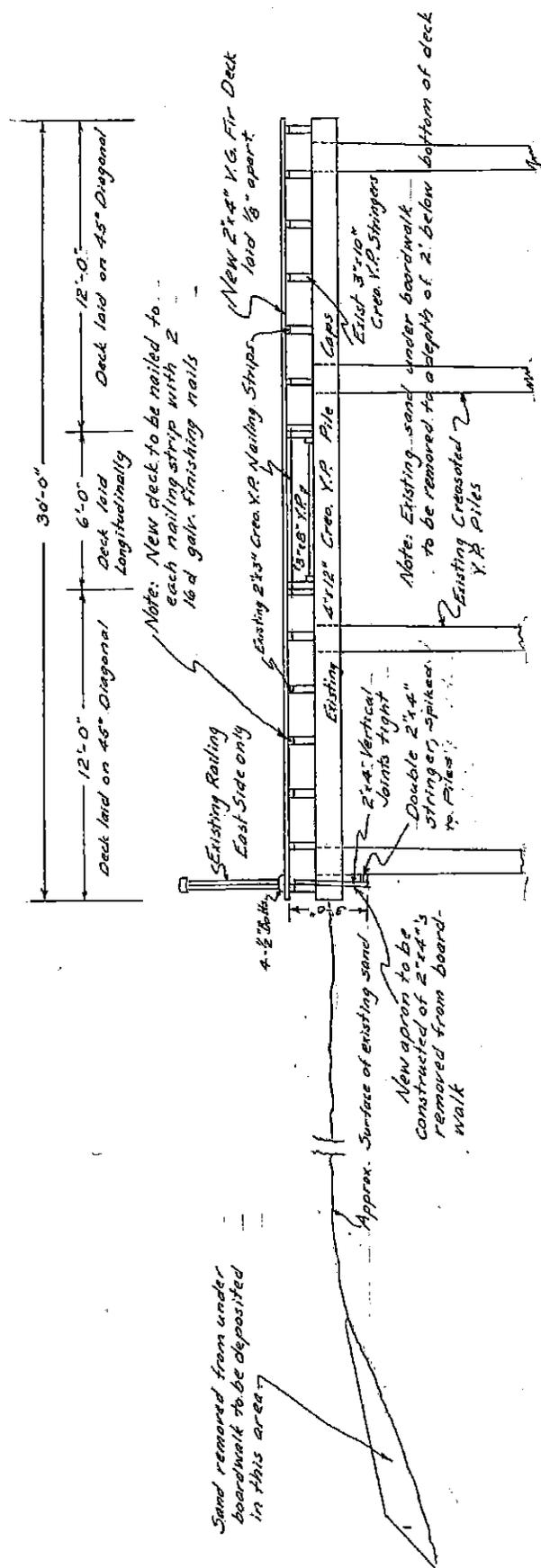
25 Ft long Piles, 14 Ft OC,  
(4 per 20 Ft width, 1,695 LF; 5 per 24 -30 Ft width, 4,741 LF), Total: 2,188 Piles

**3. Extra Piles (VLF):**

$(2,188 - 1753) \times 25 \text{ VLF} = 10,875 \text{ VLF}$

**4. Extra Straps and Screws:**

$((2,188 \text{ piles}/1753 \text{ piles}) - 1) \times 100 = 25\% \text{ more}$



**TYPICAL CROSS SECTION**

Scale 1/4" = 1'-0"

**EXHIBIT C**  
**AS-BUILT PLANS**  
**(2 Sheets)**

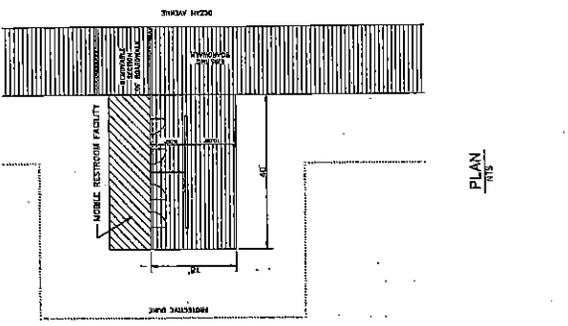
**BOROUGH OF BELMAR**  
**MONMOUTH COUNTY, NEW JERSEY**  
**PLAN FOR CONSTRUCTION OF**  
**NEW 2' x 4' BOARDWALK DECK**  
**February 1960**

*Charles W. Driddeall*  
 Borough Engineer

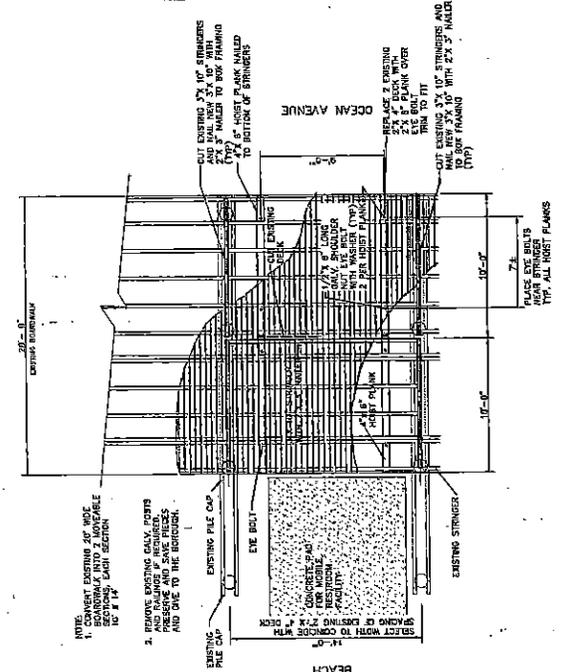
F 2-10

82, 67

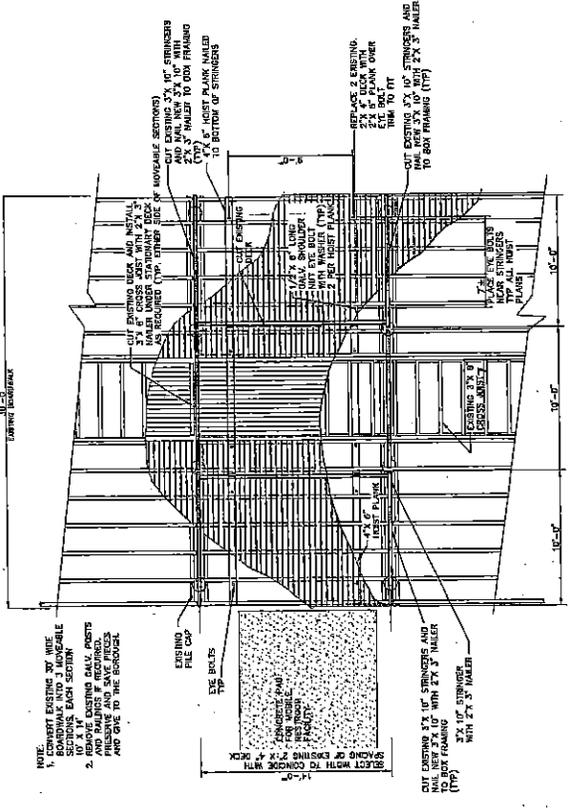
211-647



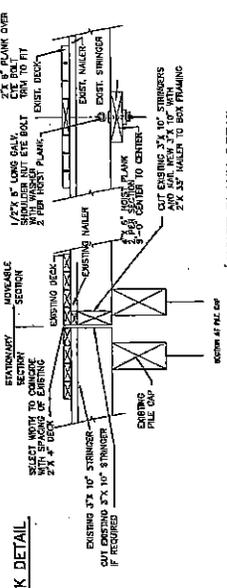
PLAN  
1/8"



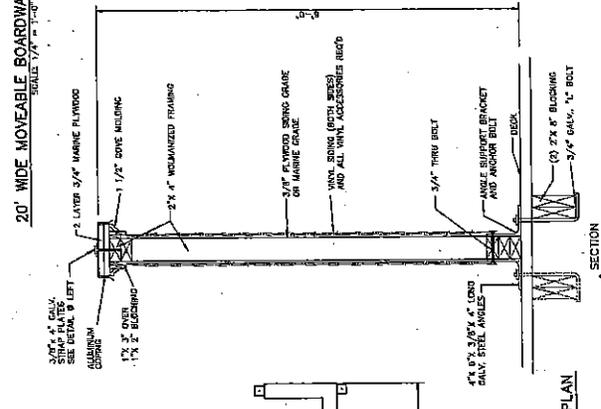
PLAN  
1/8"



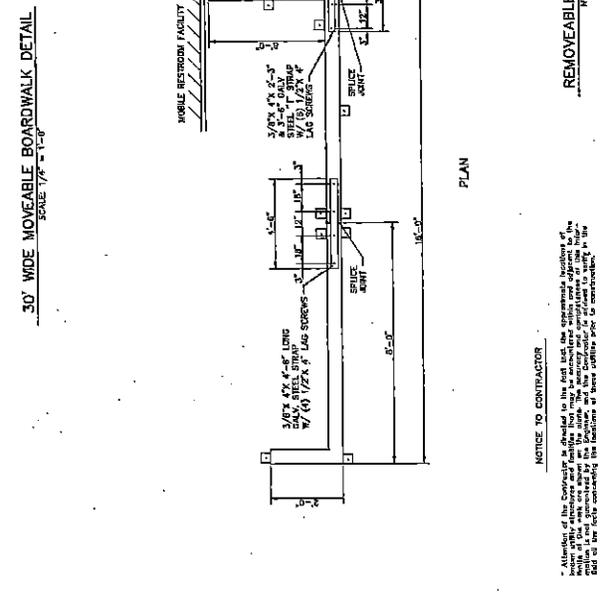
PLAN  
1/8"



SECTION  
1/8"



SECTION  
1/8"



SECTION  
1/8"

**DETAIL SHEET**  
**BOARDWALK RECONSTRUCTION**  
**RESTROOM FACILITIES AREA**

BOROUGH OF BELMAR  
 MONMOUTH COUNTY  
 NEW JERSEY

Birdsall Engineering, Inc.  
 Professional Engineers, Land Surveyors, Planners  
 1000 Route 138, Suite 200, Belmar, NJ 07718  
 TEL: 908.761.1111 FAX: 908.761.1112  
 www.birdsalleng.com

PROJECT NO. 2013-015  
 SHEET NO. 6 OF 10

WILLIAM T. BIRDSALL, P.E.  
 N.J. Lic. No. 25535

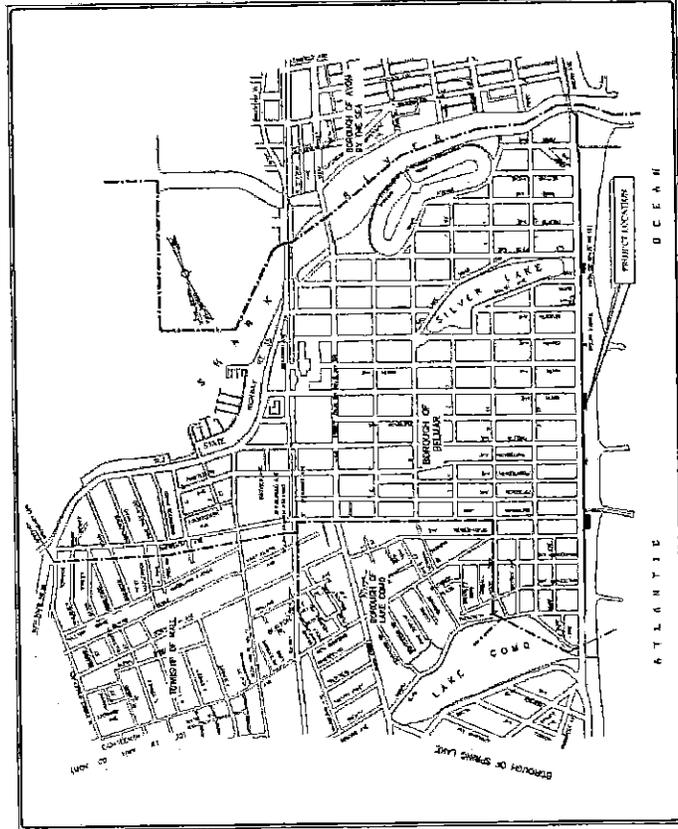
07-2-10 P.L.

**REMOVABLE RESTROOM ENTRY SCREEN PLAN**  
 1/8"

NOTICE TO CONTRACTOR

Attention: The Contractor is directed to the fact that the topographic location of the existing restroom and building footings are shown on this drawing. The Contractor shall verify the location of the existing restroom and building footings on the ground prior to construction.

# BELMAR BOARDWALK RECONSTRUCTION PROJECT OCEAN AVENUE BOROUGH OF BELMAR MONMOUTH COUNTY, NEW JERSEY



KEY MAP  
NTS

GOVERNING BODY	
MAYOR	MATTHEW WADERTY
ADMINISTRATOR	COLLEEN CONNOLLY
BURGOISSER/COUNCIL	DAVID BLOOM COLLEEN CONNOLLY JAMES HANCOCK JESSICA HARRIS JENNIFER NICOLAY
BOROUGH CLERK	APRIL CLAUDIO

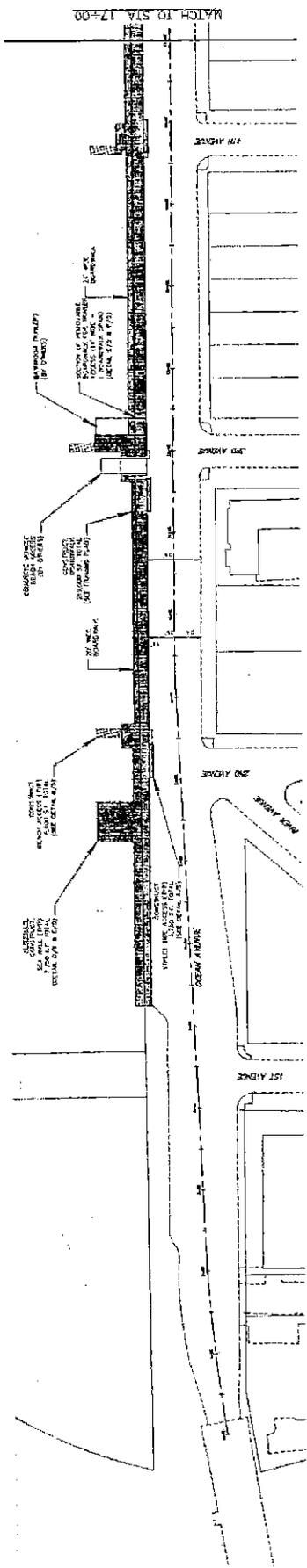
**EXHIBIT D  
DECEMBER 2012  
BID DOC PLANS FOR  
EPIC MANAGEMENT  
CONTRACT (5 Sheets)**

UTILITY CONTACTS	
ELECTRIC	AT&T AT&T WORLDWIDE COMMUNICATIONS BELLEVILLE, NJ AT&T WORLDWIDE BELLEVILLE
TELEPHONE	AT&T WORLDWIDE COMMUNICATIONS 111 W. WASHINGTON STREET AT&T, NORTH BRUNSWICK
TELEVISION	AT&T WORLDWIDE COMMUNICATIONS 111 W. WASHINGTON STREET AT&T, NORTH BRUNSWICK
CABLE	AT&T WORLDWIDE COMMUNICATIONS 111 W. WASHINGTON STREET AT&T, NORTH BRUNSWICK
TELEPHONE	AT&T WORLDWIDE COMMUNICATIONS 111 W. WASHINGTON STREET AT&T, NORTH BRUNSWICK
TELEVISION	AT&T WORLDWIDE COMMUNICATIONS 111 W. WASHINGTON STREET AT&T, NORTH BRUNSWICK
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TELEPHONE	AT&T WORLDWIDE COMMUNICATIONS 111 W. WASHINGTON STREET AT&T, NORTH BRUNSWICK
TELEVISION	AT&T WORLDWIDE COMMUNICATIONS 111 W. WASHINGTON STREET AT&T, NORTH BRUNSWICK
CABLE	AT&T WORLDWIDE COMMUNICATIONS 111 W. WASHINGTON STREET AT&T, NORTH BRUNSWICK

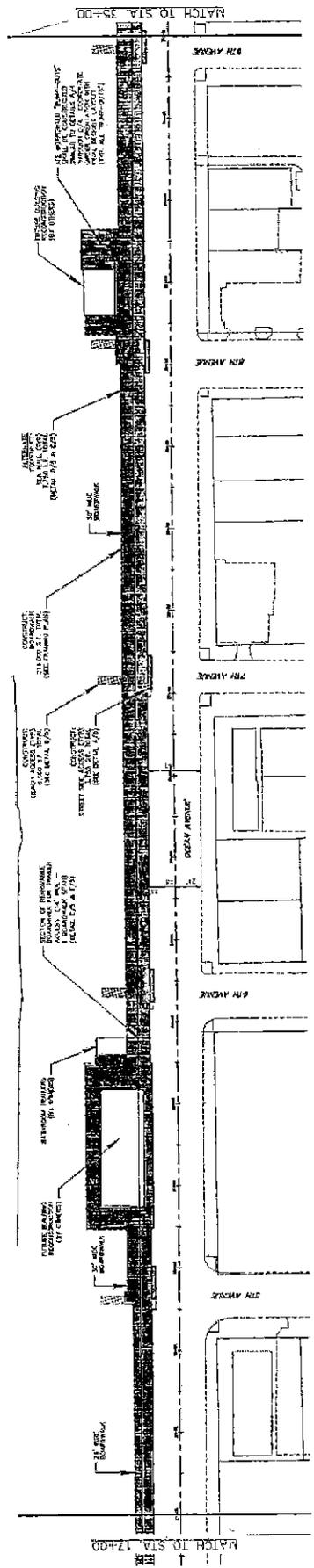
<p><b>BSP</b> BIRDSONG SERVICES GROUP INCORPORATED A PROFESSIONAL CORPORATION PAUL COLLAMORSE, P.E. PAUL COLLAMORSE, P.E. 1000 BELLEVILLE AVENUE, SUITE 200 BELLEVILLE, NJ 07003 TEL: 908.261.1000 WWW.BSPGROUP.COM</p>	<p>TITLE SHEET BELMAR BOARDWALK RECONSTRUCTION PROJECT OCEAN AVENUE BOROUGH OF BELMAR</p>
	<p>DATE: 12/12/12 SCALE: AS SHOWN PROJECT NO.: 12-001 SHEET NO.: 1 OF 5</p>

**NOTICE TO CONTRACTOR**

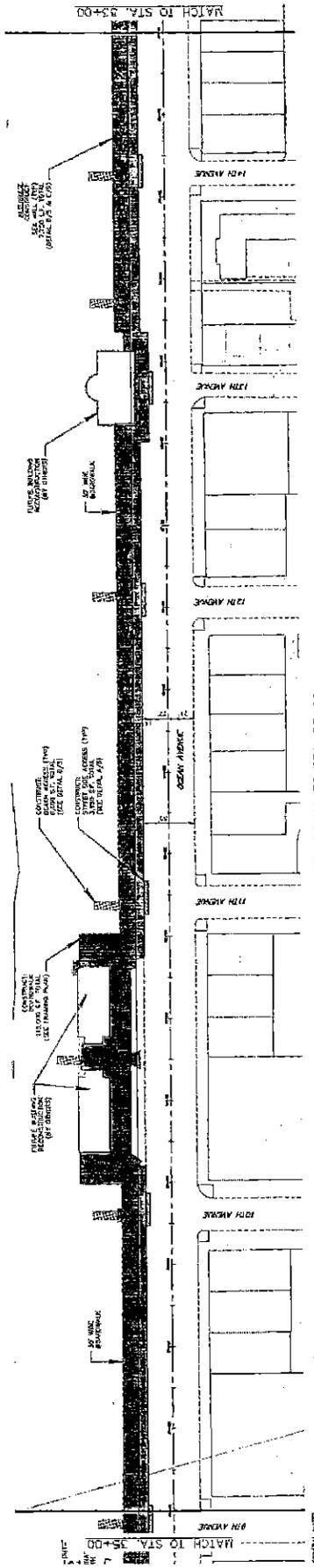
The contractor shall be responsible for obtaining all necessary permits and approvals for the project. The contractor shall also be responsible for obtaining all necessary utility information and for coordinating with the utility companies. The contractor shall be responsible for obtaining all necessary information regarding the project and for coordinating with the project manager. The contractor shall be responsible for obtaining all necessary information regarding the project and for coordinating with the project manager.



SIA. 0+00 TO STA. 17+00

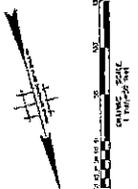


SIA. 17+00 TO STA. 35+00



SIA. 35+00 TO STA. 53+00

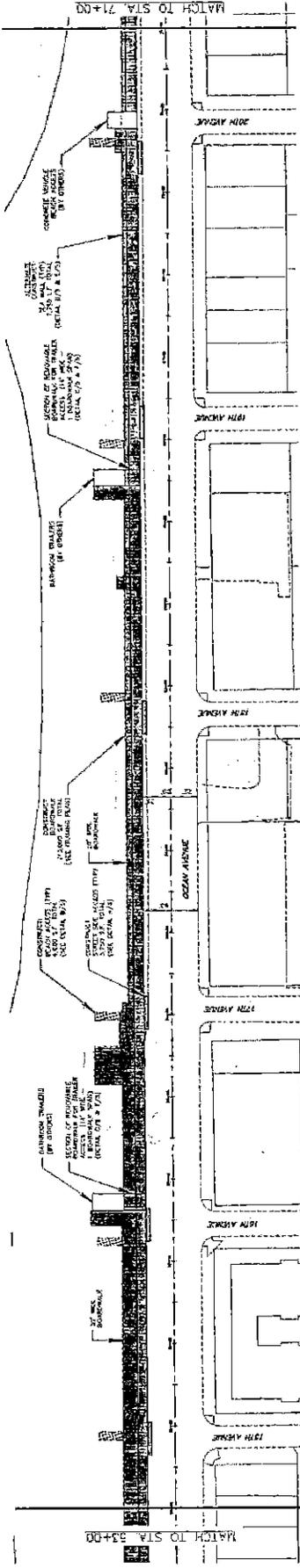
- GENERAL NOTES OF THE PROJECT: THE CONTRACTOR SHALL VERIFY EXISTING CONDITIONS, SHOWING THE LOCATION AND GRADES OF ALL UTILITIES TO THE DEPTH OF 10 FEET.
1. EXISTING UTILITIES SHALL BE PROTECTED AND MAINTAINED THROUGHOUT THE PROJECT. ALL UTILITIES SHALL BE PROTECTED AND MAINTAINED THROUGHOUT THE PROJECT.
  2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
  3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
  4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
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  11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.



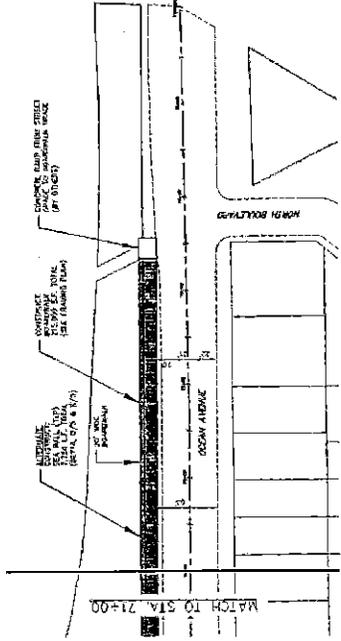
**CONSTRUCTION PLAN**  
**BELMAR BOARDWALK**  
**RECONSTRUCTION PROJECT**  
**OCEAN AVENUE**  
**BOROUGH OF BELMAR**

**B.S.P.**  
**BIRDWALL SERVICES GROUP**  
 A Division of  
**ITALICALABRESE, INC.**

DATE: 10/15/12  
 DRAWN BY: [Signature]  
 CHECKED BY: [Signature]  
 PROJECT NO.: [Number]  
 SHEET NO.: 2-5

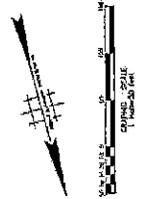


STA. 53+00 TO STA. 71+00



STA. 71+00 TO STA. 74+00

- GENERAL NOTES:**
1. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY MATERIALS AND LABOR FOR THE CONSTRUCTION OF ALL WORK SHOWN ON THESE PLANS.
  2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
  3. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AND UTILITIES AT ALL TIMES.
  4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND REPAIR OF ALL UTILITIES LOCATED UNDER OR ADJACENT TO THE WORK AREA.
  5. THE CONTRACTOR SHALL MAINTAIN ADEQUATE DRAINAGE SYSTEMS THROUGHOUT THE CONSTRUCTION PERIOD.
  6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND REPAIR OF ALL EXISTING CURBS AND SIDEWALKS.
  7. THE CONTRACTOR SHALL MAINTAIN ADEQUATE ACCESS TO ALL ADJACENT PROPERTIES AND UTILITIES AT ALL TIMES.
  8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND REPAIR OF ALL EXISTING UTILITIES LOCATED UNDER OR ADJACENT TO THE WORK AREA.
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  11. THE CONTRACTOR SHALL MAINTAIN ADEQUATE ACCESS TO ALL ADJACENT PROPERTIES AND UTILITIES AT ALL TIMES.

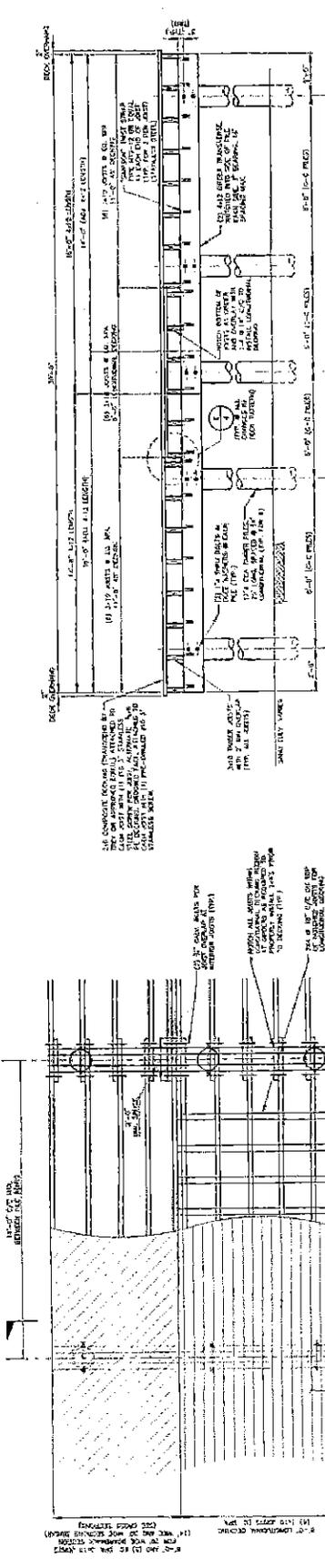


**CONSTRUCTION PLAN**  
**BELMAR BOARDWALK**  
**RECONSTRUCTION PROJECT**  
**OCEAN AVENUE**  
**BOROUGH OF BELMAR**

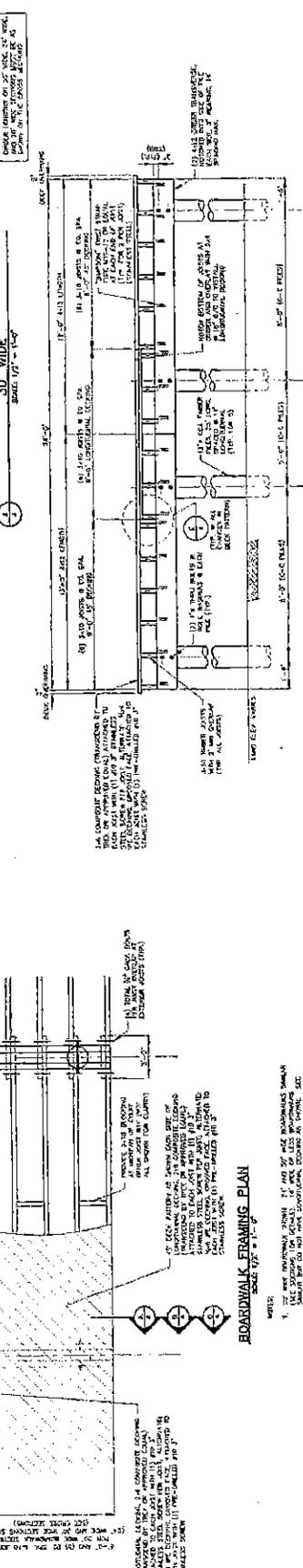
**HIRSHALL SERVICES GROUP**  
 CONSULTING ENGINEERS & ARCHITECTS

**PAUL CALABRISSE, P.E.**  
 11/24/12

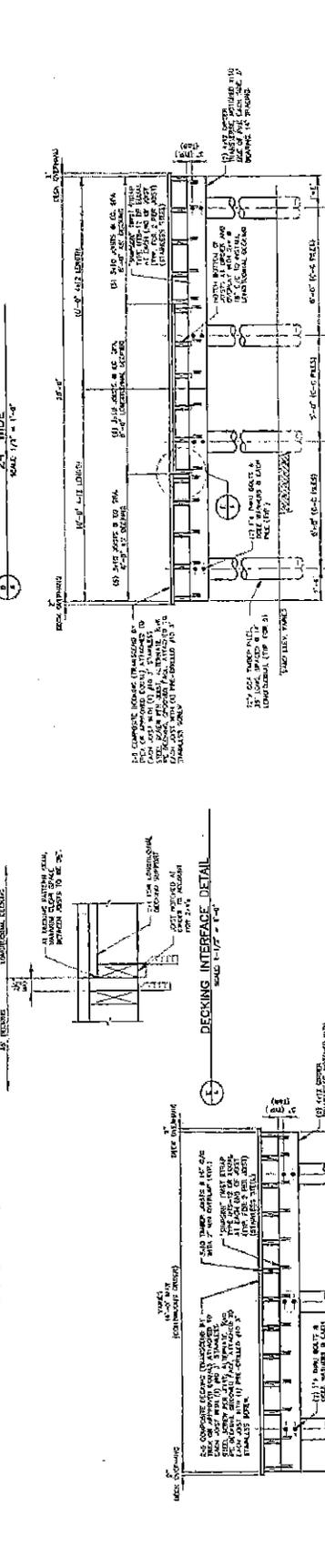
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 SCALE: AS SHOWN  
 SHEET NO.: 3 OF 6



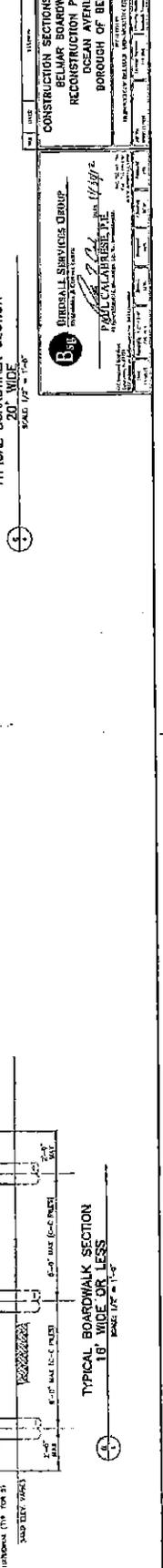
**BOARDWALK FRAMING PLAN**  
SCALE: 1/2" = 1'-0"



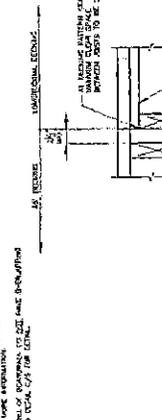
**TYPICAL BOARDWALK SECTION 30' WIDE**  
SCALE: 1/2" = 1'-0"



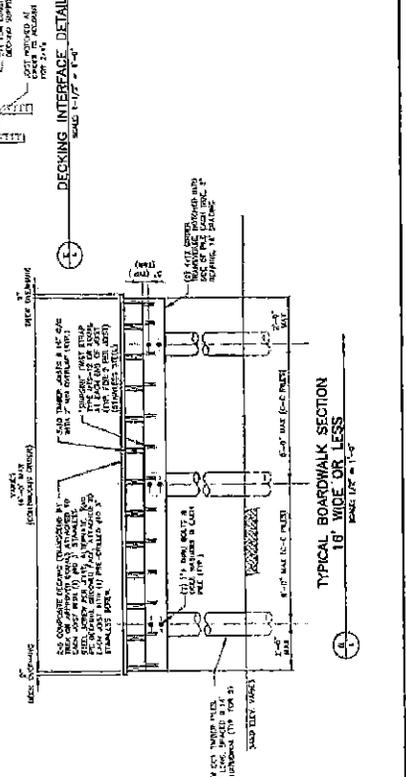
**TYPICAL BOARDWALK SECTION 24' WIDE**  
SCALE: 1/2" = 1'-0"



**TYPICAL BOARDWALK SECTION 20' WIDE**  
SCALE: 1/2" = 1'-0"



**DECKING INTERFACE DETAIL**  
SCALE: 1/2" = 1'-0"



**TYPICAL BOARDWALK SECTION 18' WIDE OR LESS**  
SCALE: 1/2" = 1'-0"

**CONSTRUCTION SECTIONS & DETAILS**  
BELMAR BOARDWALK  
RECONSTRUCTION PROJECT  
OCEAN AVENUE  
BOROUGH OF BELMAR

**BRIDGEMAN SERVICES GROUP**  
PAUL CALABRESE, P.E.  
1000 BELMONT AVENUE, SUITE 200  
BELMAR, NJ 07718  
TEL: 908.328.1100  
WWW.BRIDGEMANSGROUP.COM

DATE: 11/15/17  
DRAWN: J. J. [unreadable]  
CHECKED: [unreadable]  
SCALE: 1/2" = 1'-0"

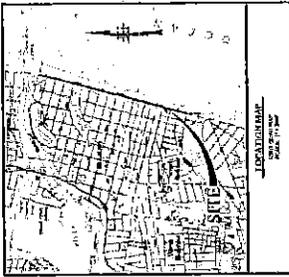
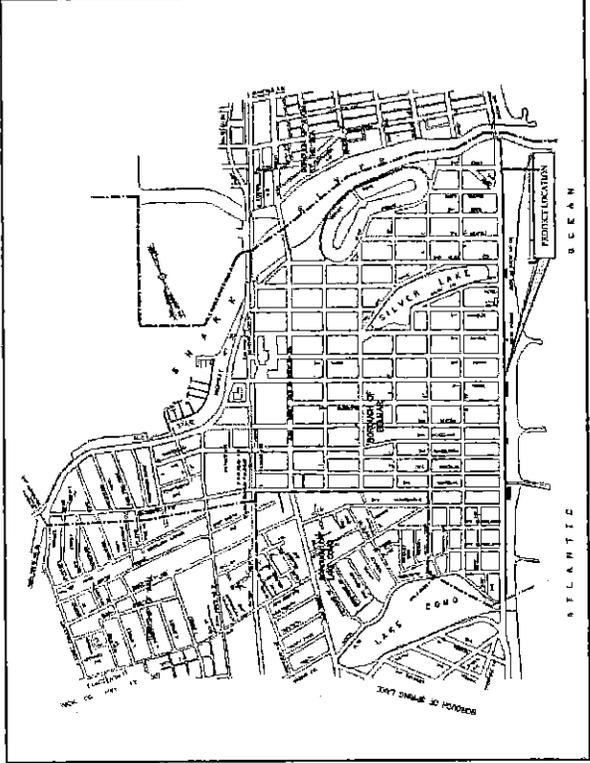


# ELECTRICAL WORK FOR BELMAR BOARDWALK RECONSTRUCTION PROJECT OCEAN AVENUE BOROUGH OF BELMAR MONMOUTH COUNTY, NEW JERSEY FEBRUARY 2013

## EXHIBIT F (8 Sheets)

GOVERNING BODY	
MAYOR	MATTHEW BOBERTY
ADMINISTRATOR	COLLEEN CONNOLLY
BOROUGH COUNCIL	JAMES BROWN CLAUDIA BROWN CHRISTOPHER GAGLIARDONE JENNIFER SORLEY
BOROUGH CLERK	APRIL CLAUDIUS

UTILITY CONTACTS	
ELECTRIC	BELMONT POWER LIGHT 211 NEW MANHATTAN ROAD ATLANTIC CITY, NJ 08402
NATURAL GAS	NJ TRANS ENERGY SERVICES COMPANY 200 W. MARKET STREET ATLANTIC CITY, NJ 08402
WATER	NJ TRANS ENERGY SERVICES COMPANY 200 W. MARKET STREET ATLANTIC CITY, NJ 08402
SEWER	NJ TRANS ENERGY SERVICES COMPANY 200 W. MARKET STREET ATLANTIC CITY, NJ 08402
FOR MORE INFORMATION CONTACT:	
PROJECT MANAGER	VINCE VIGORELLI
PROJECT ENGINEER	VINCE VIGORELLI
FOR MORE INFORMATION CONTACT:	
PROJECT MANAGER	VINCE VIGORELLI
PROJECT ENGINEER	VINCE VIGORELLI



INDEX OF SHEETS	
NO.	DESCRIPTION
1	TITLE SHEET
2	GENERAL NOTES & SPECIAL NOTES
3	ELECTRICAL BOARDWALK PLAN - 100'S
4	ELECTRICAL BOARDWALK PLAN - 200'S
5	ELECTRICAL BOARDWALK PLAN - 300'S
6	ELECTRICAL BOARDWALK PLAN - 400'S
7	ELECTRICAL BOARDWALK PLAN - 500'S

- NOTES**
1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND UTILITIES.
  2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND UTILITIES.
  3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND UTILITIES.
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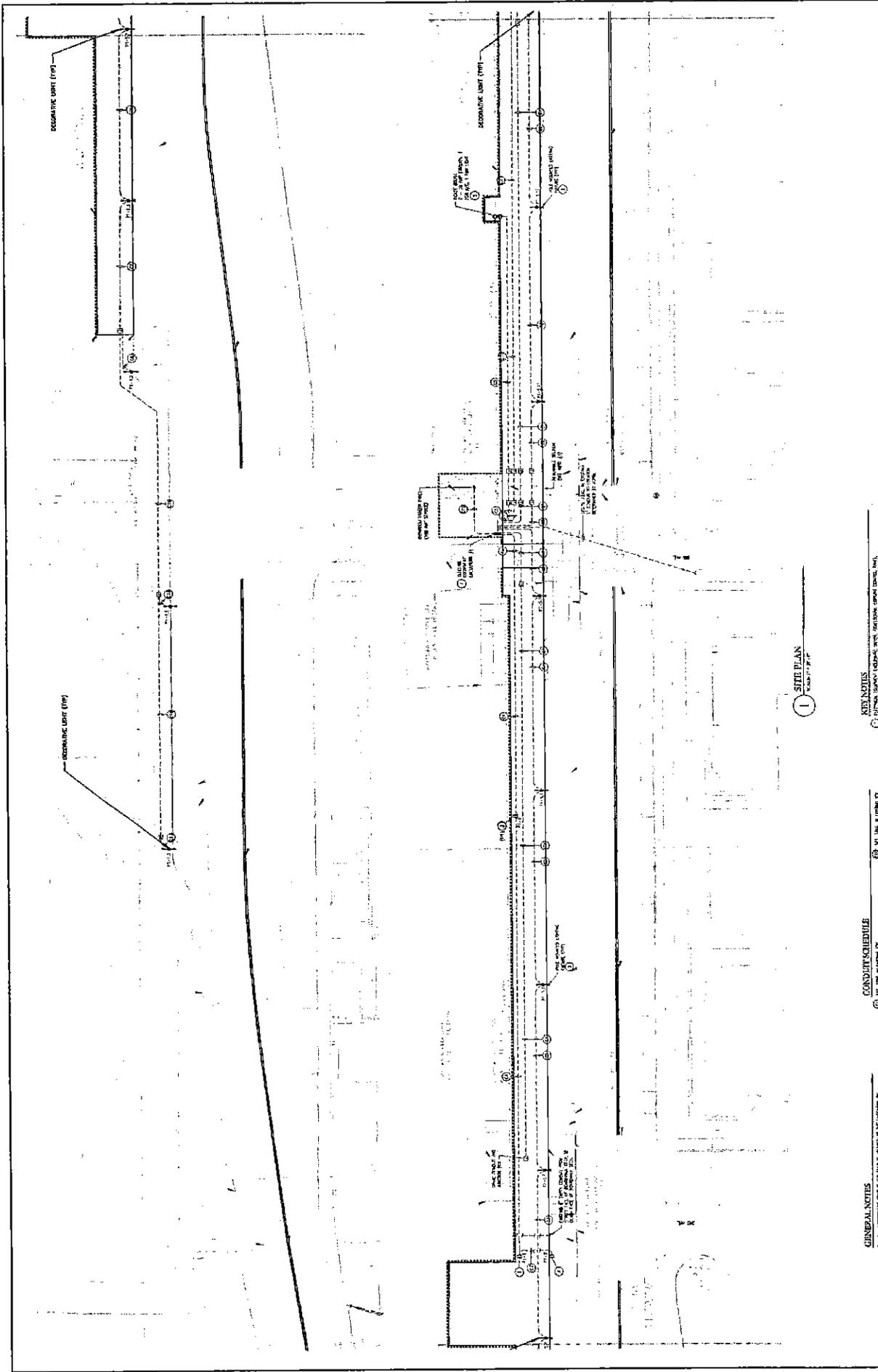
**TITLE SHEET**  
BELMAR BOARDWALK  
RECONSTRUCTION PROJECT  
OCEAN AVENUE  
BOROUGH OF BELMAR

**NOTICE TO CONTRACTOR**

THIS DOCUMENT IS THE PROPERTY OF BIRDSALL SHAUVICKIS GROUP, INC. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF BIRDSALL SHAUVICKIS GROUP, INC. ANY UNAUTHORIZED USE OF THIS DOCUMENT IS PROHIBITED AND WILL BE SUBJECT TO LEGAL ACTION.

IN ORIGINAL: (480x337.48) per (4)





**GENERAL NOTES**

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL ELECTRICAL CODE (NEC) AND THE NATIONAL FIRE ALARMS CODE (NFPA).
2. ALL MATERIALS SHALL BE NEW UNLESS OTHERWISE SPECIFIED.
3. ALL WORK SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE LOCAL AUTHORITIES.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.
5. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
6. ALL UTILITIES SHALL BE PROTECTED AND MARKED PRIOR TO ANY EXCAVATION.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES.
8. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
9. THE CONTRACTOR SHALL MAINTAIN A SAFE WORKING ENVIRONMENT AT ALL TIMES.
10. ALL MATERIALS SHALL BE STORED PROPERLY AND PROTECTED FROM THE ELEMENTS.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ADJACENT PROPERTIES.
12. ALL WORK SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE LOCAL AUTHORITIES.
13. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.
15. THE CONTRACTOR SHALL MAINTAIN A SAFE WORKING ENVIRONMENT AT ALL TIMES.

**CONDUIT SCHEDULE**

NO.	TYPE	SIZE	LENGTH	REMARKS
1	1/2"	1/2"	100'	CONDUIT TO LIGHT FIXTURE
2	1/2"	1/2"	100'	CONDUIT TO LIGHT FIXTURE
3	1/2"	1/2"	100'	CONDUIT TO LIGHT FIXTURE
4	1/2"	1/2"	100'	CONDUIT TO LIGHT FIXTURE
5	1/2"	1/2"	100'	CONDUIT TO LIGHT FIXTURE
6	1/2"	1/2"	100'	CONDUIT TO LIGHT FIXTURE
7	1/2"	1/2"	100'	CONDUIT TO LIGHT FIXTURE
8	1/2"	1/2"	100'	CONDUIT TO LIGHT FIXTURE
9	1/2"	1/2"	100'	CONDUIT TO LIGHT FIXTURE
10	1/2"	1/2"	100'	CONDUIT TO LIGHT FIXTURE
11	1/2"	1/2"	100'	CONDUIT TO LIGHT FIXTURE
12	1/2"	1/2"	100'	CONDUIT TO LIGHT FIXTURE
13	1/2"	1/2"	100'	CONDUIT TO LIGHT FIXTURE
14	1/2"	1/2"	100'	CONDUIT TO LIGHT FIXTURE
15	1/2"	1/2"	100'	CONDUIT TO LIGHT FIXTURE
16	1/2"	1/2"	100'	CONDUIT TO LIGHT FIXTURE
17	1/2"	1/2"	100'	CONDUIT TO LIGHT FIXTURE
18	1/2"	1/2"	100'	CONDUIT TO LIGHT FIXTURE
19	1/2"	1/2"	100'	CONDUIT TO LIGHT FIXTURE
20	1/2"	1/2"	100'	CONDUIT TO LIGHT FIXTURE

**KEY POINTS**

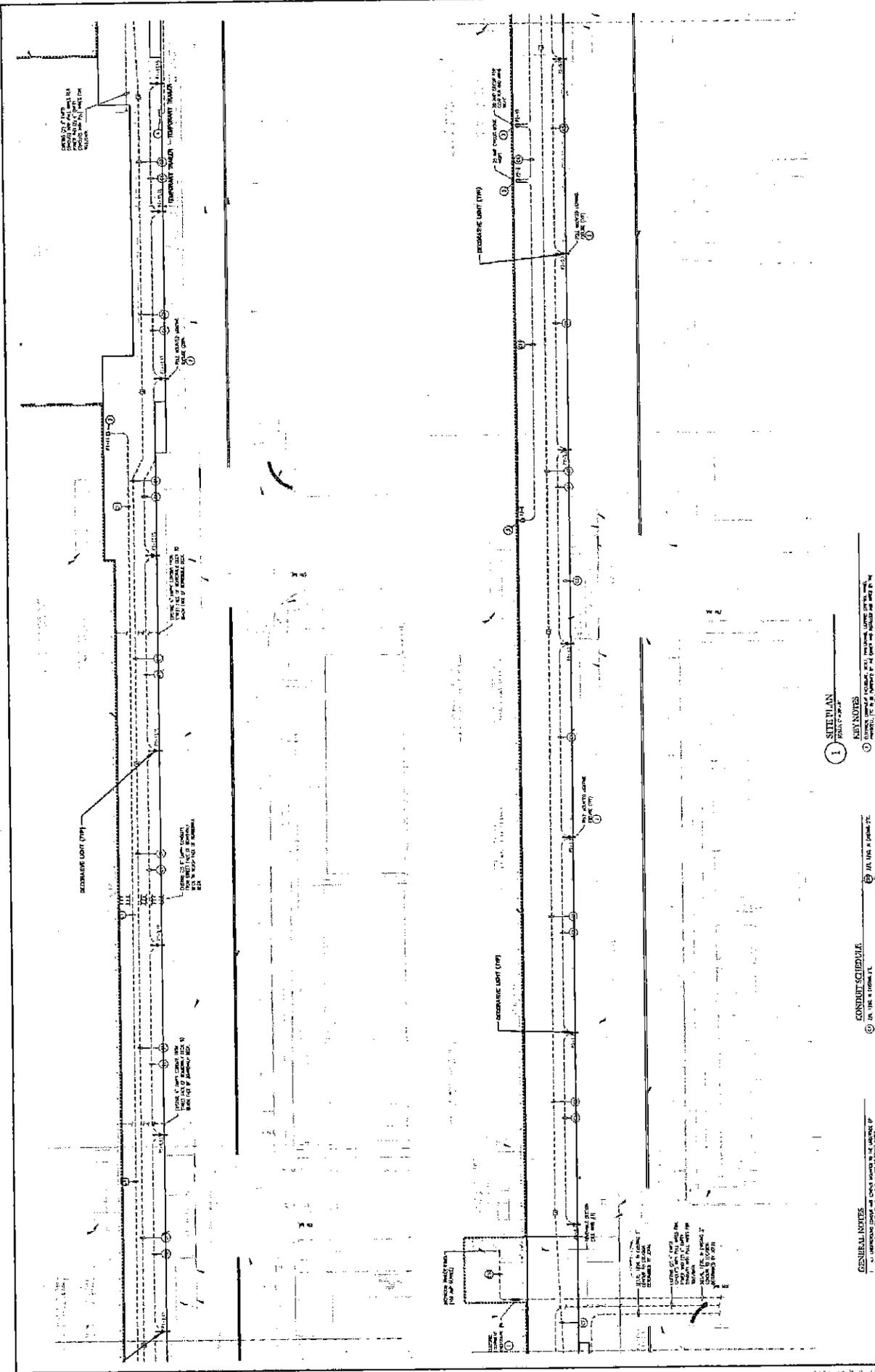
1. POINT A: 100' FROM LIGHT FIXTURE
2. POINT B: 100' FROM LIGHT FIXTURE
3. POINT C: 100' FROM LIGHT FIXTURE
4. POINT D: 100' FROM LIGHT FIXTURE
5. POINT E: 100' FROM LIGHT FIXTURE
6. POINT F: 100' FROM LIGHT FIXTURE
7. POINT G: 100' FROM LIGHT FIXTURE
8. POINT H: 100' FROM LIGHT FIXTURE
9. POINT I: 100' FROM LIGHT FIXTURE
10. POINT J: 100' FROM LIGHT FIXTURE
11. POINT K: 100' FROM LIGHT FIXTURE
12. POINT L: 100' FROM LIGHT FIXTURE
13. POINT M: 100' FROM LIGHT FIXTURE
14. POINT N: 100' FROM LIGHT FIXTURE
15. POINT O: 100' FROM LIGHT FIXTURE
16. POINT P: 100' FROM LIGHT FIXTURE
17. POINT Q: 100' FROM LIGHT FIXTURE
18. POINT R: 100' FROM LIGHT FIXTURE
19. POINT S: 100' FROM LIGHT FIXTURE
20. POINT T: 100' FROM LIGHT FIXTURE

**1 SIDE PLAN**  
SCALE: 1" = 10'

**GENERAL SERVICES GROUP**  
INCORPORATED  
1000 MARKET STREET  
PHILADELPHIA, PA 19102  
TEL: 215-597-1234  
FAX: 215-597-5678  
WWW.GSGROUP.COM

**ELECTRICAL BASINWALK PLAN**  
RECORDATION PROJECT  
OCEAN AVE  
BOROUGH OF BELMAR  
NEW JERSEY

**DATE:** 10/15/2023  
**PROJECT NO.:** 23-001  
**SCALE:** 1" = 10'  
**BY:** J. SMITH  
**CHECKED:** M. JONES  
**APPROVED:** K. BROWN



**ELECTRICAL BOARDWALK PLAN 7 OF 8**  
**BELMAR BOARDWALK**  
**RECONSTRUCTION PROJECT**  
**OCEAN AVE**  
**BOROUGH OF BELMAR**

**BRIDGEMAN SERVICES GROUP**  
 ENGINEERS & ARCHITECTS  
 1000 BELMONT AVENUE  
 BELMAR, N.J. 07718  
 TEL: 908.328.1234  
 FAX: 908.328.1235  
 WWW.BRIDGEMANSGROUP.COM

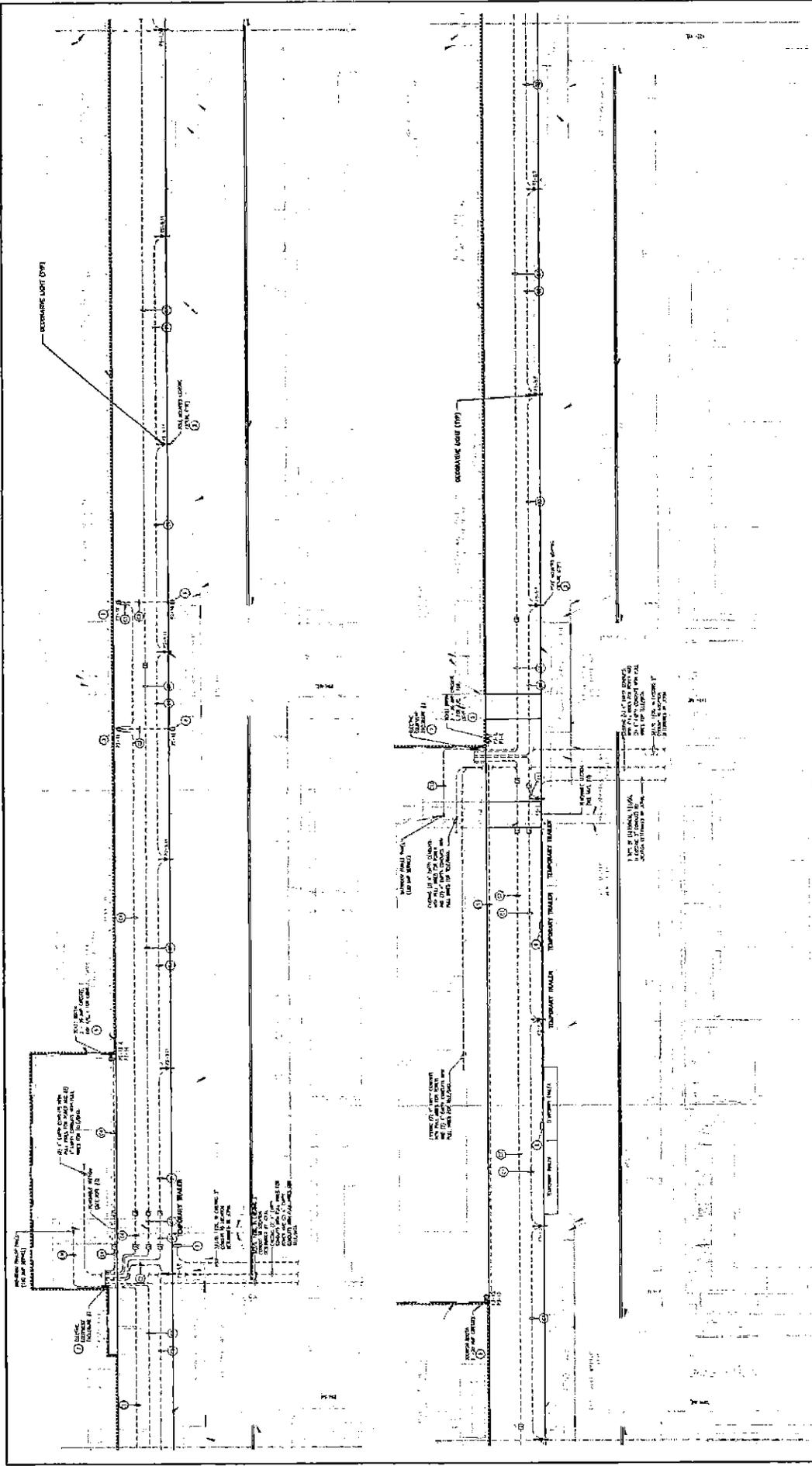
**DATE:** 08/14/2018  
**SCALE:** 1" = 10'-0"  
**PROJECT NO.:** 18-001

**1 SITE PLAN**  
 PART 1 OF 2

- REVISIONS**
- 1. REVISED TO REFLECT THE LATEST FIELD DATA AND TO CORRECT THE LIGHTING LAYOUT.
  - 2. REVISED TO REFLECT THE LATEST FIELD DATA AND TO CORRECT THE LIGHTING LAYOUT.
  - 3. REVISED TO REFLECT THE LATEST FIELD DATA AND TO CORRECT THE LIGHTING LAYOUT.
  - 4. REVISED TO REFLECT THE LATEST FIELD DATA AND TO CORRECT THE LIGHTING LAYOUT.
  - 5. REVISED TO REFLECT THE LATEST FIELD DATA AND TO CORRECT THE LIGHTING LAYOUT.

- CONDUIT SCHEDULE**
- 1. 4" DIA. x 10' LONG
  - 2. 4" DIA. x 10' LONG
  - 3. 4" DIA. x 10' LONG
  - 4. 4" DIA. x 10' LONG
  - 5. 4" DIA. x 10' LONG
  - 6. 4" DIA. x 10' LONG
  - 7. 4" DIA. x 10' LONG
  - 8. 4" DIA. x 10' LONG
  - 9. 4" DIA. x 10' LONG
  - 10. 4" DIA. x 10' LONG

- GENERAL NOTES**
- 1. ALL CONDUIT SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITION OF THE NATIONAL ELECTRICAL CODE (NEC).
  - 2. ALL CONDUIT SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITION OF THE NATIONAL ELECTRICAL CODE (NEC).
  - 3. ALL CONDUIT SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITION OF THE NATIONAL ELECTRICAL CODE (NEC).
  - 4. ALL CONDUIT SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITION OF THE NATIONAL ELECTRICAL CODE (NEC).
  - 5. ALL CONDUIT SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITION OF THE NATIONAL ELECTRICAL CODE (NEC).



1 SITE PLAN  
SCALE: 1/4" = 1'-0"

- NOTES**
1. ALL UTILITIES SHOWN ARE BASED ON RECORD DRAWINGS AND FIELD SURVEY. VERIFY ALL UTILITIES PRIOR TO CONSTRUCTION.
  2. ALL UTILITIES SHALL BE PROTECTED AND DEEPENED TO A MINIMUM OF 48" BELOW FINISHED GRADE.
  3. ALL UTILITIES SHALL BE MARKED WITH PIPES AND FLAGGED AT 10' INTERVALS.
  4. ALL UTILITIES SHALL BE MARKED WITH PIPES AND FLAGGED AT 10' INTERVALS.
  5. ALL UTILITIES SHALL BE MARKED WITH PIPES AND FLAGGED AT 10' INTERVALS.
  6. ALL UTILITIES SHALL BE MARKED WITH PIPES AND FLAGGED AT 10' INTERVALS.
  7. ALL UTILITIES SHALL BE MARKED WITH PIPES AND FLAGGED AT 10' INTERVALS.
  8. ALL UTILITIES SHALL BE MARKED WITH PIPES AND FLAGGED AT 10' INTERVALS.
  9. ALL UTILITIES SHALL BE MARKED WITH PIPES AND FLAGGED AT 10' INTERVALS.
  10. ALL UTILITIES SHALL BE MARKED WITH PIPES AND FLAGGED AT 10' INTERVALS.

- CONCRETE SCHEDULE**
1. ALL CONCRETE SHALL BE 4000 PSI COMPRESSIVE STRENGTH.
  2. ALL CONCRETE SHALL BE 4000 PSI COMPRESSIVE STRENGTH.
  3. ALL CONCRETE SHALL BE 4000 PSI COMPRESSIVE STRENGTH.
  4. ALL CONCRETE SHALL BE 4000 PSI COMPRESSIVE STRENGTH.
  5. ALL CONCRETE SHALL BE 4000 PSI COMPRESSIVE STRENGTH.
  6. ALL CONCRETE SHALL BE 4000 PSI COMPRESSIVE STRENGTH.
  7. ALL CONCRETE SHALL BE 4000 PSI COMPRESSIVE STRENGTH.
  8. ALL CONCRETE SHALL BE 4000 PSI COMPRESSIVE STRENGTH.
  9. ALL CONCRETE SHALL BE 4000 PSI COMPRESSIVE STRENGTH.
  10. ALL CONCRETE SHALL BE 4000 PSI COMPRESSIVE STRENGTH.

- GENERAL NOTES**
1. ALL UTILITIES SHALL BE PROTECTED AND DEEPENED TO A MINIMUM OF 48" BELOW FINISHED GRADE.
  2. ALL UTILITIES SHALL BE MARKED WITH PIPES AND FLAGGED AT 10' INTERVALS.
  3. ALL UTILITIES SHALL BE MARKED WITH PIPES AND FLAGGED AT 10' INTERVALS.
  4. ALL UTILITIES SHALL BE MARKED WITH PIPES AND FLAGGED AT 10' INTERVALS.
  5. ALL UTILITIES SHALL BE MARKED WITH PIPES AND FLAGGED AT 10' INTERVALS.
  6. ALL UTILITIES SHALL BE MARKED WITH PIPES AND FLAGGED AT 10' INTERVALS.
  7. ALL UTILITIES SHALL BE MARKED WITH PIPES AND FLAGGED AT 10' INTERVALS.
  8. ALL UTILITIES SHALL BE MARKED WITH PIPES AND FLAGGED AT 10' INTERVALS.
  9. ALL UTILITIES SHALL BE MARKED WITH PIPES AND FLAGGED AT 10' INTERVALS.
  10. ALL UTILITIES SHALL BE MARKED WITH PIPES AND FLAGGED AT 10' INTERVALS.

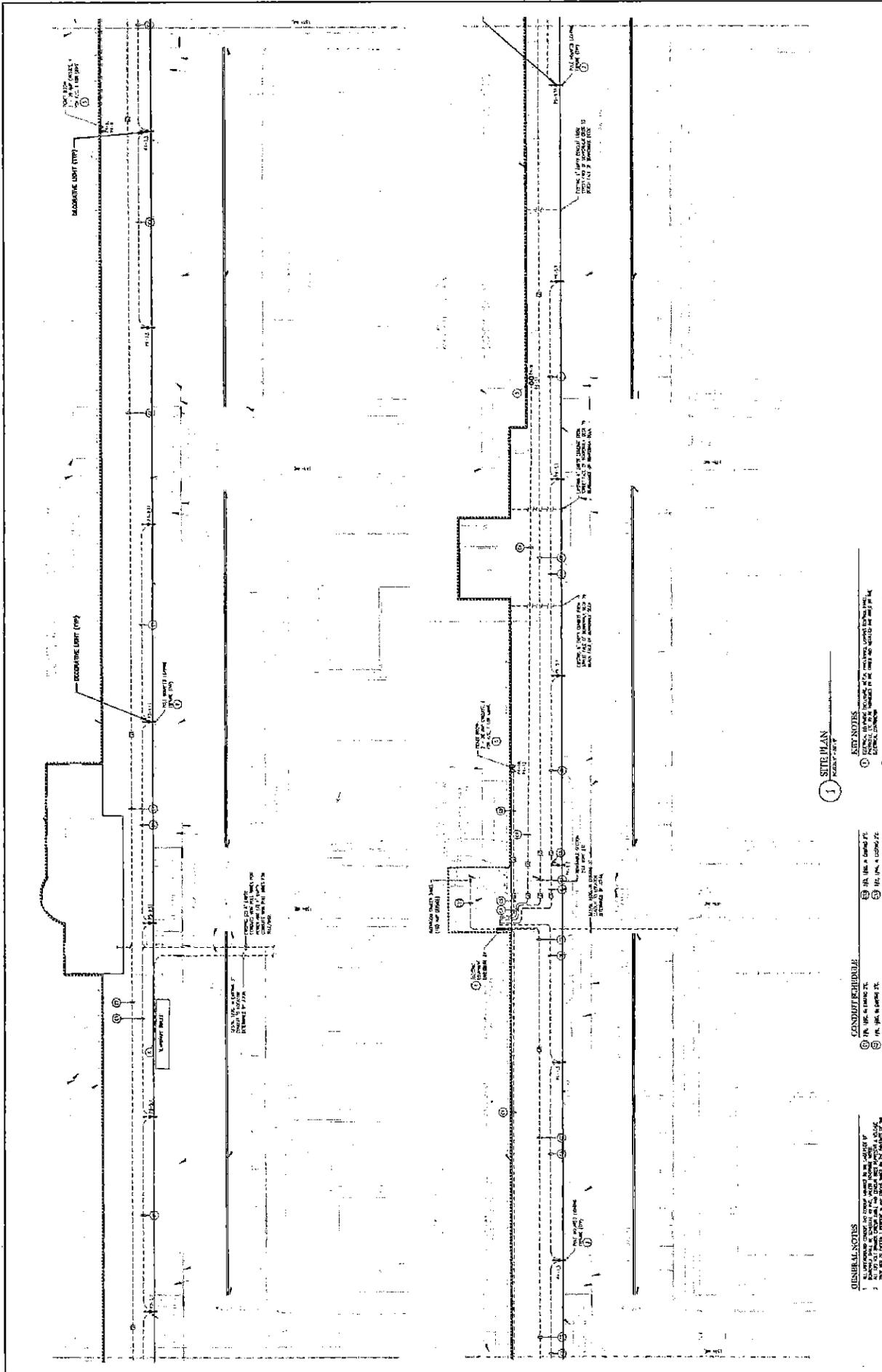
**BIRSBALL SERVICES GROUP**  
**BELMAR BOARDWALK RECONSTRUCTION PROJECT**  
**OCEAN AVE**  
**BOROUGH OF BELMAR**

PAUL CALABRESE, P.E.  
 PROJECT ENGINEER

DATE: 10/15/10  
 SCALE: 1/4" = 1'-0"

PROJECT NO: 10-101  
 SHEET NO: 1 OF 1





1 SITE PLAN  
SCALE: 1" = 20' A.

- KEY NOTES**
1. ALL UTILITIES TO BE INSTALLED IN ACCORDANCE WITH THE CITY OF BELMAR UTILITIES DEPARTMENT SPECIFICATIONS.
  2. ALL UTILITIES TO BE INSTALLED IN ACCORDANCE WITH THE CITY OF BELMAR UTILITIES DEPARTMENT SPECIFICATIONS.
  3. ALL UTILITIES TO BE INSTALLED IN ACCORDANCE WITH THE CITY OF BELMAR UTILITIES DEPARTMENT SPECIFICATIONS.
  4. ALL UTILITIES TO BE INSTALLED IN ACCORDANCE WITH THE CITY OF BELMAR UTILITIES DEPARTMENT SPECIFICATIONS.
  5. ALL UTILITIES TO BE INSTALLED IN ACCORDANCE WITH THE CITY OF BELMAR UTILITIES DEPARTMENT SPECIFICATIONS.
  6. ALL UTILITIES TO BE INSTALLED IN ACCORDANCE WITH THE CITY OF BELMAR UTILITIES DEPARTMENT SPECIFICATIONS.
  7. ALL UTILITIES TO BE INSTALLED IN ACCORDANCE WITH THE CITY OF BELMAR UTILITIES DEPARTMENT SPECIFICATIONS.
  8. ALL UTILITIES TO BE INSTALLED IN ACCORDANCE WITH THE CITY OF BELMAR UTILITIES DEPARTMENT SPECIFICATIONS.
  9. ALL UTILITIES TO BE INSTALLED IN ACCORDANCE WITH THE CITY OF BELMAR UTILITIES DEPARTMENT SPECIFICATIONS.
  10. ALL UTILITIES TO BE INSTALLED IN ACCORDANCE WITH THE CITY OF BELMAR UTILITIES DEPARTMENT SPECIFICATIONS.

- CONDUIT RICHVILLE**
1. 1/2" DIA. x 1/2" WALL THICKNESS
  2. 3/4" DIA. x 1/2" WALL THICKNESS
  3. 1" DIA. x 1/2" WALL THICKNESS
  4. 1 1/4" DIA. x 1/2" WALL THICKNESS
  5. 1 1/2" DIA. x 1/2" WALL THICKNESS
  6. 2" DIA. x 1/2" WALL THICKNESS
  7. 2 1/2" DIA. x 1/2" WALL THICKNESS
  8. 3" DIA. x 1/2" WALL THICKNESS
  9. 3 1/2" DIA. x 1/2" WALL THICKNESS
  10. 4" DIA. x 1/2" WALL THICKNESS

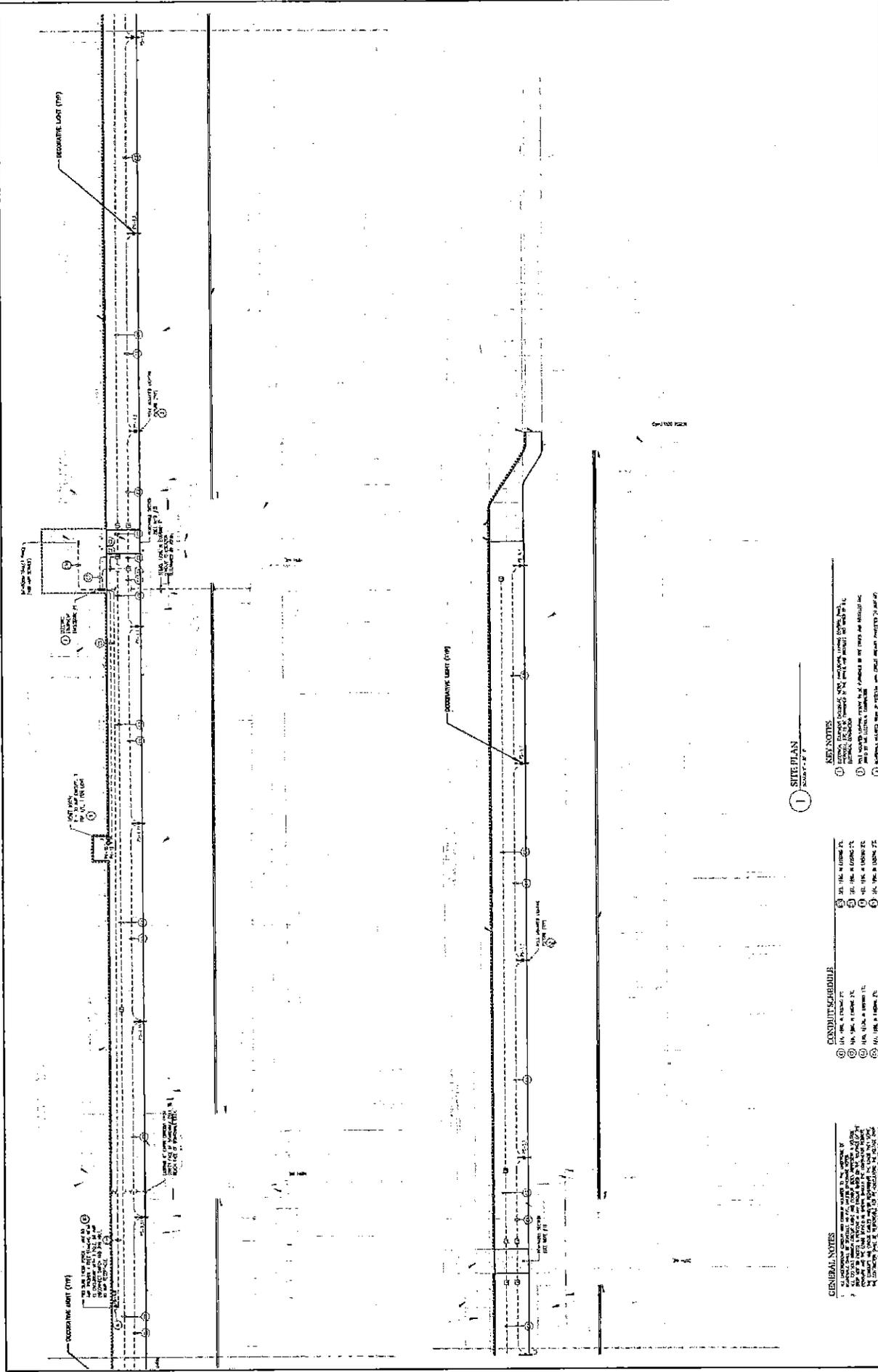
- GENERAL NOTES**
1. ALL UTILITIES TO BE INSTALLED IN ACCORDANCE WITH THE CITY OF BELMAR UTILITIES DEPARTMENT SPECIFICATIONS.
  2. ALL UTILITIES TO BE INSTALLED IN ACCORDANCE WITH THE CITY OF BELMAR UTILITIES DEPARTMENT SPECIFICATIONS.
  3. ALL UTILITIES TO BE INSTALLED IN ACCORDANCE WITH THE CITY OF BELMAR UTILITIES DEPARTMENT SPECIFICATIONS.
  4. ALL UTILITIES TO BE INSTALLED IN ACCORDANCE WITH THE CITY OF BELMAR UTILITIES DEPARTMENT SPECIFICATIONS.
  5. ALL UTILITIES TO BE INSTALLED IN ACCORDANCE WITH THE CITY OF BELMAR UTILITIES DEPARTMENT SPECIFICATIONS.
  6. ALL UTILITIES TO BE INSTALLED IN ACCORDANCE WITH THE CITY OF BELMAR UTILITIES DEPARTMENT SPECIFICATIONS.
  7. ALL UTILITIES TO BE INSTALLED IN ACCORDANCE WITH THE CITY OF BELMAR UTILITIES DEPARTMENT SPECIFICATIONS.
  8. ALL UTILITIES TO BE INSTALLED IN ACCORDANCE WITH THE CITY OF BELMAR UTILITIES DEPARTMENT SPECIFICATIONS.
  9. ALL UTILITIES TO BE INSTALLED IN ACCORDANCE WITH THE CITY OF BELMAR UTILITIES DEPARTMENT SPECIFICATIONS.
  10. ALL UTILITIES TO BE INSTALLED IN ACCORDANCE WITH THE CITY OF BELMAR UTILITIES DEPARTMENT SPECIFICATIONS.

**BIRSBALL SERVICES GROUP**  
PLANNING & CONSULTING

*Paul Lalorrie, P.E.*  
**PAUL LALORRIE, P.E.**  
A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF NEW JERSEY

**ELECTRICAL BOARDWALK PLAN 4 OF 5**  
**BELMAR BOARDWALK RECONSTRUCTION PROJECT**  
**OCEAN AVE**  
**BOROUGH OF BELMAR**

DATE: 10/15/10  
SCALE: 1" = 20' A.



**1 SITE PLAN**  
Sheet 3 of 3

**GENERAL NOTES**

1. ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL LOCAL ORDINANCES.
2. ALL ELECTRICAL WORK SHALL BE PERFORMED BY A LICENSED ELECTRICIAN.
3. ALL ELECTRICAL WORK SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE LOCAL ELECTRICAL INSPECTOR.
4. ALL ELECTRICAL WORK SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE LOCAL FIRE DEPARTMENT.
5. ALL ELECTRICAL WORK SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE LOCAL HEALTH DEPARTMENT.
6. ALL ELECTRICAL WORK SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE LOCAL PLANNING BOARD.
7. ALL ELECTRICAL WORK SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE LOCAL ZONING BOARD.
8. ALL ELECTRICAL WORK SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE LOCAL BOARD OF PUBLIC WORKS.
9. ALL ELECTRICAL WORK SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE LOCAL BOARD OF ESTIMATES AND ACCOUNTS.
10. ALL ELECTRICAL WORK SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE LOCAL BOARD OF SUPERVISORS.
11. ALL ELECTRICAL WORK SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE LOCAL BOARD OF TAX assessors.
12. ALL ELECTRICAL WORK SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE LOCAL BOARD OF HEALTH.
13. ALL ELECTRICAL WORK SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE LOCAL BOARD OF EDUCATION.
14. ALL ELECTRICAL WORK SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE LOCAL BOARD OF CHURCH AND SOCIETY.
15. ALL ELECTRICAL WORK SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE LOCAL BOARD OF AGENCIES.
16. ALL ELECTRICAL WORK SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE LOCAL BOARD OF COMMISSIONERS.
17. ALL ELECTRICAL WORK SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE LOCAL BOARD OF SUPERINTENDENTS.
18. ALL ELECTRICAL WORK SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE LOCAL BOARD OF MANAGERS.
19. ALL ELECTRICAL WORK SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE LOCAL BOARD OF DIRECTORS.
20. ALL ELECTRICAL WORK SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE LOCAL BOARD OF OFFICERS.

**CONDUIT SCHEDULE**

①	1/2" RIGID PVC
②	3/4" RIGID PVC
③	1" RIGID PVC
④	1 1/2" RIGID PVC
⑤	2" RIGID PVC
⑥	2 1/2" RIGID PVC
⑦	3" RIGID PVC
⑧	4" RIGID PVC
⑨	5" RIGID PVC
⑩	6" RIGID PVC
⑪	8" RIGID PVC
⑫	10" RIGID PVC
⑬	12" RIGID PVC
⑭	14" RIGID PVC
⑮	16" RIGID PVC
⑯	18" RIGID PVC
⑰	20" RIGID PVC
⑱	24" RIGID PVC
⑲	30" RIGID PVC
⑳	36" RIGID PVC
㉑	42" RIGID PVC
㉒	48" RIGID PVC
㉓	54" RIGID PVC
㉔	60" RIGID PVC
㉕	66" RIGID PVC
㉖	72" RIGID PVC
㉗	78" RIGID PVC
㉘	84" RIGID PVC
㉙	90" RIGID PVC
㉚	96" RIGID PVC
㉛	102" RIGID PVC
㉜	108" RIGID PVC
㉝	114" RIGID PVC
㉞	120" RIGID PVC
㉟	126" RIGID PVC
㊱	132" RIGID PVC
㊲	138" RIGID PVC
㊳	144" RIGID PVC
㊴	150" RIGID PVC
㊵	156" RIGID PVC
㊶	162" RIGID PVC
㊷	168" RIGID PVC
㊸	174" RIGID PVC
㊹	180" RIGID PVC
㊺	186" RIGID PVC
㊻	192" RIGID PVC
㊼	198" RIGID PVC
㊽	204" RIGID PVC
㊾	210" RIGID PVC
㊿	216" RIGID PVC

**KEY NOTES**

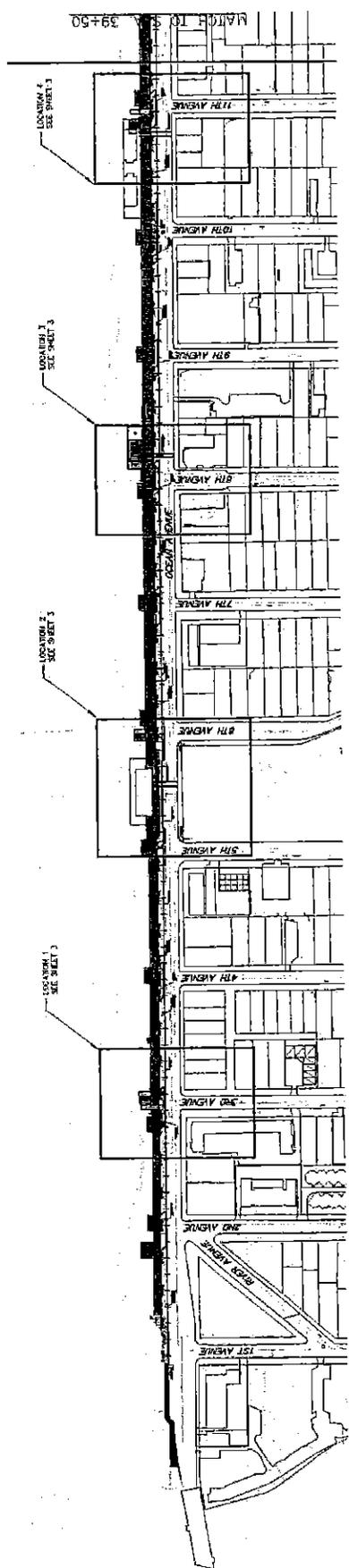
1. ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL LOCAL ORDINANCES.
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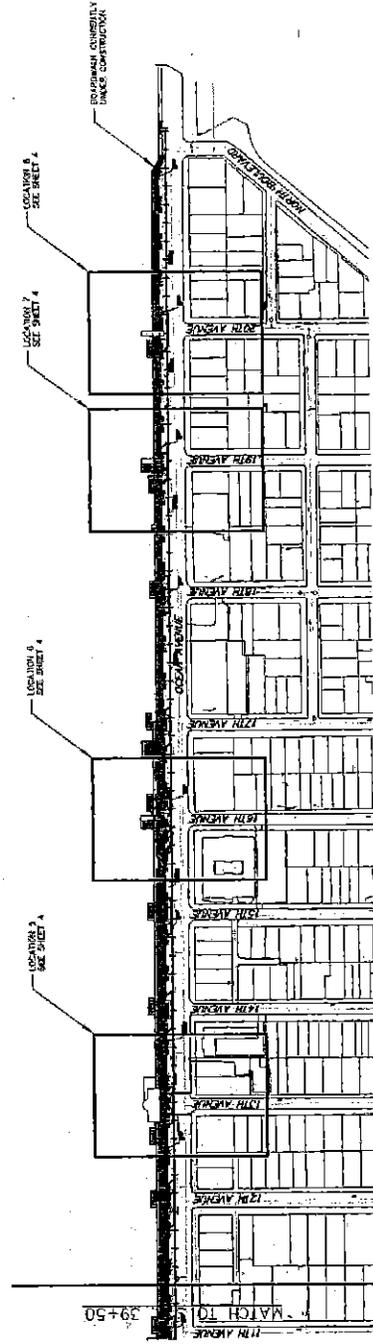
<b>BIRDELL SEEVERS GROUP, INC.</b> ENGINEERS & ARCHITECTS	
<i>John J. Seavers, P.E.</i> <b>PAUL GALABRESI, P.E.</b>	
1000 BELLAIR AVENUE, SUITE 200 BELLAIR, MARYLAND 21038	
PROJECT: ELECTRICAL BOARDWALK PLAN 3 OF 3 LOCATION: BELLAIR BOARDWALK RECONSTRUCTION PROJECT ADDRESS: OCEAN AVE, BELLAIR, MARYLAND	
DATE: 10/15/11	SCALE: AS SHOWN
DRAWN BY: J. GALABRESI	CHECKED BY: J. GALABRESI
DATE: 10/15/11	DATE: 10/15/11
PROJECT NO.: 11-001	SHEET NO.: 3 OF 3







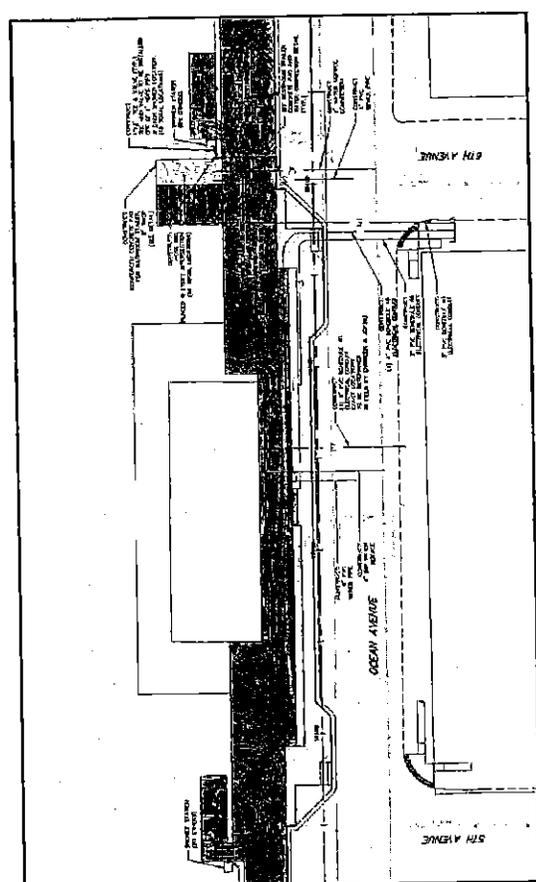
STA. 0+00 TO STA. 39+50



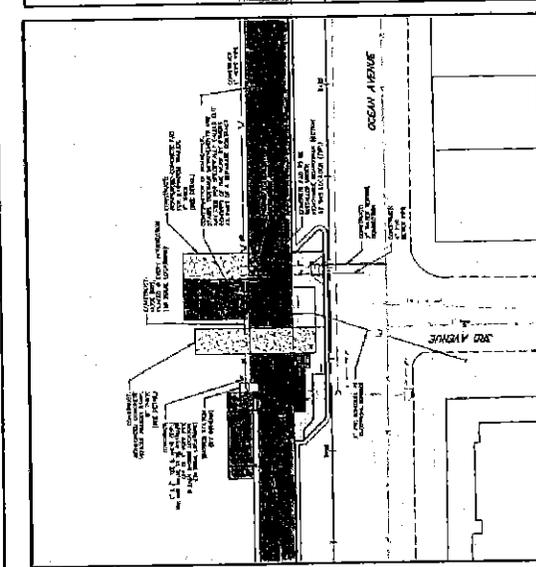
STA. 39+50 TO STA. 70+19



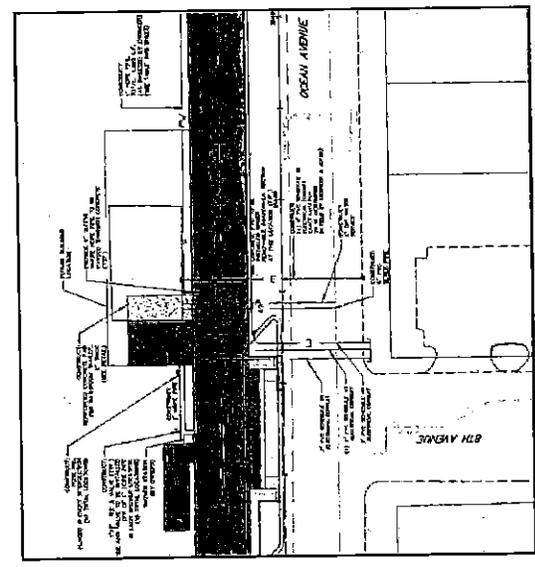
		<b>OVERALL PLAN UTILITY SERVICES &amp; CONCRETE IMPROVEMENTS FOR BOARDWALK OCEAN AVENUE BOROUGH OF BELMAR</b>	
<b>BIRDSALL SERVICES GROUP</b> ENGINEERS & ARCHITECTS 1000 CALAVERAS, P.O. BOX 1000 SAN FRANCISCO, CALIFORNIA 94108 TELEPHONE: (415) 774-1100 FACSIMILE: (415) 774-1101 WWW.BIRDSALLSG.COM		PROJECT NO. 1000000000 SHEET NO. 2-6 DATE: 10/15/10 DRAWN BY: J. J. [unreadable] CHECKED BY: J. J. [unreadable] APPROVED BY: J. J. [unreadable]	



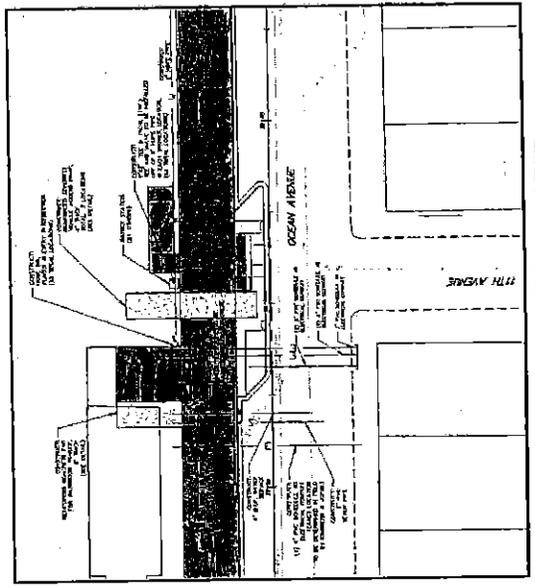
2. OCEAN AVENUE BETWEEN 5TH AVENUE & 6TH AVENUE  
SCALE 1"=30'



1. OCEAN AVENUE & 3RD AVENUE  
SCALE 1"=30'



3. OCEAN AVENUE & 8TH AVENUE  
SCALE 1"=30'



4. OCEAN AVENUE & 11TH AVENUE  
SCALE 1"=30'

GENERAL NOTES

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS FOR ROADWORK AND CONSTRUCTION OF UTILITIES, NEW YORK STATE DEPARTMENT OF TRANSPORTATION, LATEST EDITION.
2. ALL MATERIALS SHALL BE OF THE BEST QUALITY AND SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE ENGINEER.
3. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
4. ALL UTILITIES SHALL BE PROTECTED AND MARKED PRIOR TO CONSTRUCTION.
5. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY ENGINEER'S ORDINANCES.
6. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
7. ALL MATERIALS SHALL BE OF THE BEST QUALITY AND SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE ENGINEER.
8. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
9. ALL UTILITIES SHALL BE PROTECTED AND MARKED PRIOR TO CONSTRUCTION.
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11. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
12. ALL MATERIALS SHALL BE OF THE BEST QUALITY AND SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE ENGINEER.
13. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
14. ALL UTILITIES SHALL BE PROTECTED AND MARKED PRIOR TO CONSTRUCTION.
15. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY ENGINEER'S ORDINANCES.
16. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
17. ALL MATERIALS SHALL BE OF THE BEST QUALITY AND SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE ENGINEER.
18. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
19. ALL UTILITIES SHALL BE PROTECTED AND MARKED PRIOR TO CONSTRUCTION.
20. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY ENGINEER'S ORDINANCES.

**BIRDSELL SERVICES GROUP**  
ENGINEERS & ARCHITECTS

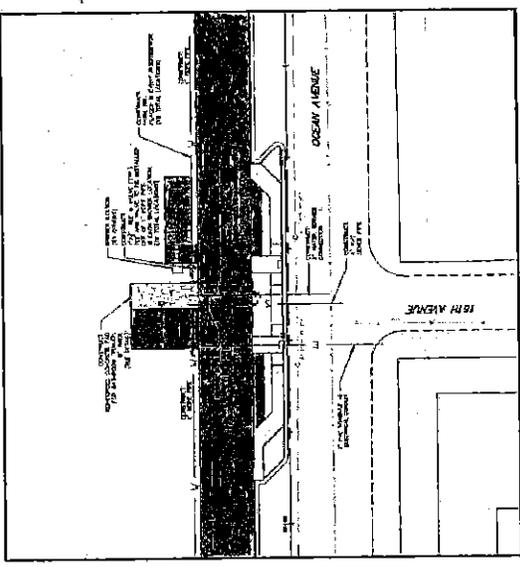
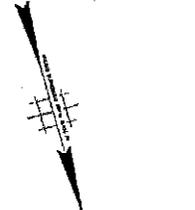
PAUL CALABROSE, P.E.  
REGISTERED PROFESSIONAL ENGINEER

20483

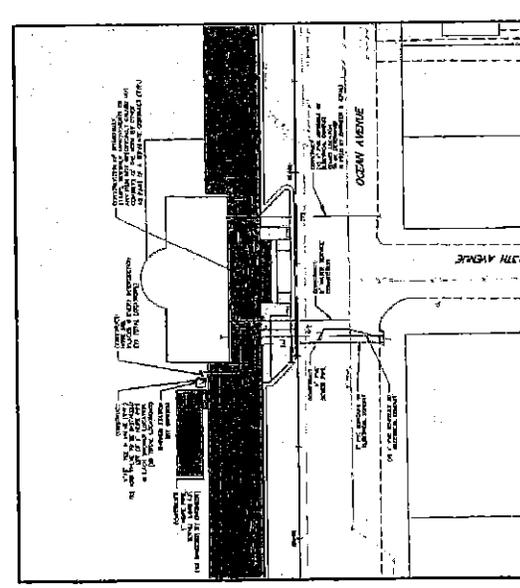
CONSTRUCTION PLAN (1 OF 2)  
UTILITY SERVICES & CONCRETE IMPROVEMENTS  
FOR BOARDWALK  
OCEAN AVENUE  
BOROUGH OF BELMAR

DATE: 10/15/13  
SCALE: AS SHOWN  
SHEET NO. 1 OF 6

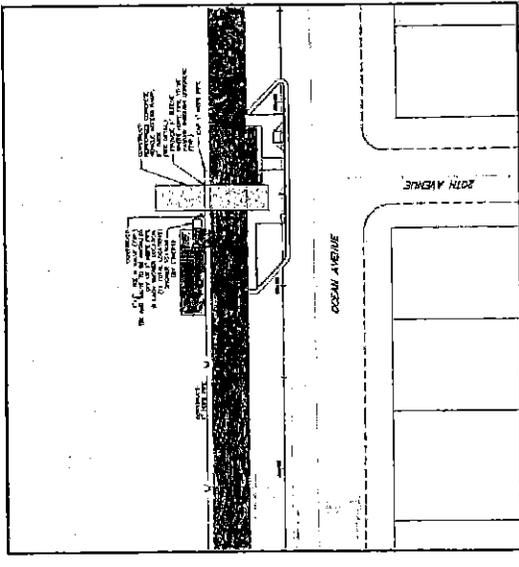
- REVISIONS:**
1. THE LOCATION OF THE NEW "WALKWAY" IS TO BE ADJUSTED TO ACCORDANCE WITH THE CITY ENGINEER'S COMMENTS.
  2. THE LOCATION OF THE NEW "WALKWAY" IS TO BE ADJUSTED TO ACCORDANCE WITH THE CITY ENGINEER'S COMMENTS.
  3. THE LOCATION OF THE NEW "WALKWAY" IS TO BE ADJUSTED TO ACCORDANCE WITH THE CITY ENGINEER'S COMMENTS.
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  20. THE LOCATION OF THE NEW "WALKWAY" IS TO BE ADJUSTED TO ACCORDANCE WITH THE CITY ENGINEER'S COMMENTS.



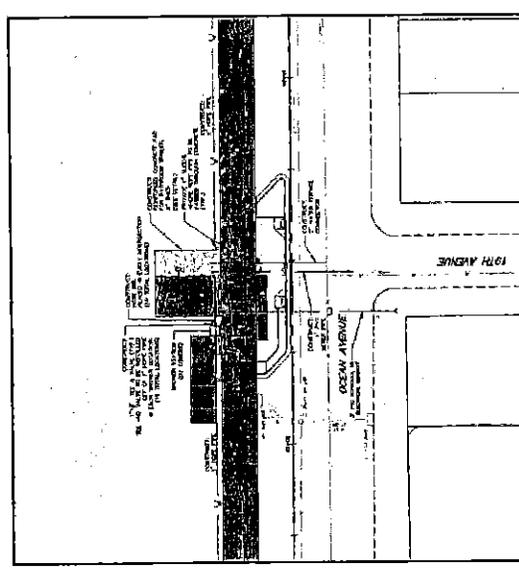
6. OCEAN AVENUE & 16TH AVENUE  
SCALE 1"=30'



5. OCEAN AVENUE & 13TH AVENUE  
SCALE 1"=30'



8. OCEAN AVENUE & 20TH AVENUE  
SCALE 1"=30'



7. OCEAN AVENUE & 19TH AVENUE  
SCALE 1"=30'



**SUMMARY SHEET - LABOR MATERIALS**

LOCATION	QUANTITY	UNIT PRICE	TOTAL
CONCRETE	100	1.00	100.00
STEEL	50	2.00	100.00
WOOD	20	5.00	100.00
PAINT	10	10.00	100.00
LABOR	1000	1.00	1000.00
TOTAL			1400.00

**BRIDGEMAN ENGINEERING GROUP**  
 ENGINEERS ARCHITECTS PLANNERS  
 1000 BROADWAY, NEW YORK, N.Y. 10018  
 PAUL CALAURESE, P.E.  
 REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF NEW YORK  
 LICENSE NO. 11111

**CONSTRUCTION PLAN (2 OF 2)**  
 UTILITY SERVICES & CONCRETE IMPROVEMENTS  
 FOR BOARDWALK  
 OCEAN AVENUE  
 BOROUGH OF BELMAR

DATE: 12/15/11  
 SHEET NO.: 4 OF 6





# CONCRETE, PAVEMENT & STRIPING IMPROVEMENTS

## OCEAN AVENUE

### BOROUGH OF BELMAR, NEW JERSEY

### MONMOUTH COUNTY, NEW JERSEY

### FEBRUARY 2013



**GOVERNING BODY**

MAYOR	MATTHEW DOHERTY
ADMINISTRATOR	COLLEEN CONNOLLY
BOROUGH COUNCIL	JAMES BEAN CLAIRE DECKE BRIAN MAGUIRE DENVER NICOLAI
BOROUGH CLERK	APRIL CLAUDIO

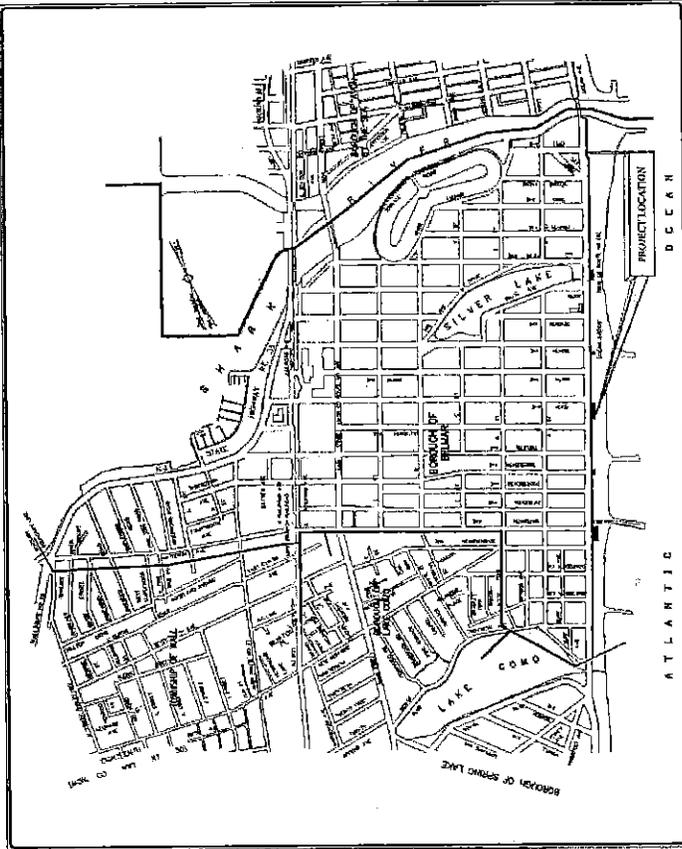
**NOTICE TO CONTRACTOR**

A copy of the Contract is attached to this bid. The approximate location of the project is shown on the key map. The contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate agencies. The contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate agencies. The contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate agencies.

**UTILITY CONTACTS**

ELECTRIC	NEW JERSEY ELECTRIC & LIGHT
SEWER	311 HERMAN SPRINGS ROAD
WATER	611 SHREWSBURY AVENUE
TELEPHONE	300 NORTH AVENUE
CABLE	400 NORTH AVENUE
TELEVISION	400 NORTH AVENUE
POSTAL	400 NORTH AVENUE
TELEPHONE	400 NORTH AVENUE
TELEVISION	400 NORTH AVENUE
POSTAL	400 NORTH AVENUE

NO ONE CALL: (1-800-274-1000) or (611)



**INDEX OF SHEETS**

NO.	DESCRIPTION
1	TITLE SHEET
2	ESTIMATE OF QUANTITIES
3	OVERALL PLAN
4	SIGNING AND STRIPING PLAN
5	CONCRETE AND PAVEMENT PLAN
6	CONCRETE AND PAVEMENT PLAN
7	CONCRETE AND PAVEMENT PLAN
8	CONCRETE AND PAVEMENT PLAN
9	CONCRETE AND PAVEMENT PLAN
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25	CONCRETE AND PAVEMENT PLAN
26	CONCRETE AND PAVEMENT PLAN
27	CONCRETE AND PAVEMENT PLAN
28	CONCRETE AND PAVEMENT PLAN
29	CONCRETE AND PAVEMENT PLAN
30	CONCRETE AND PAVEMENT PLAN
31	CONSTRUCTION DETAILS

# EXHIBIT H

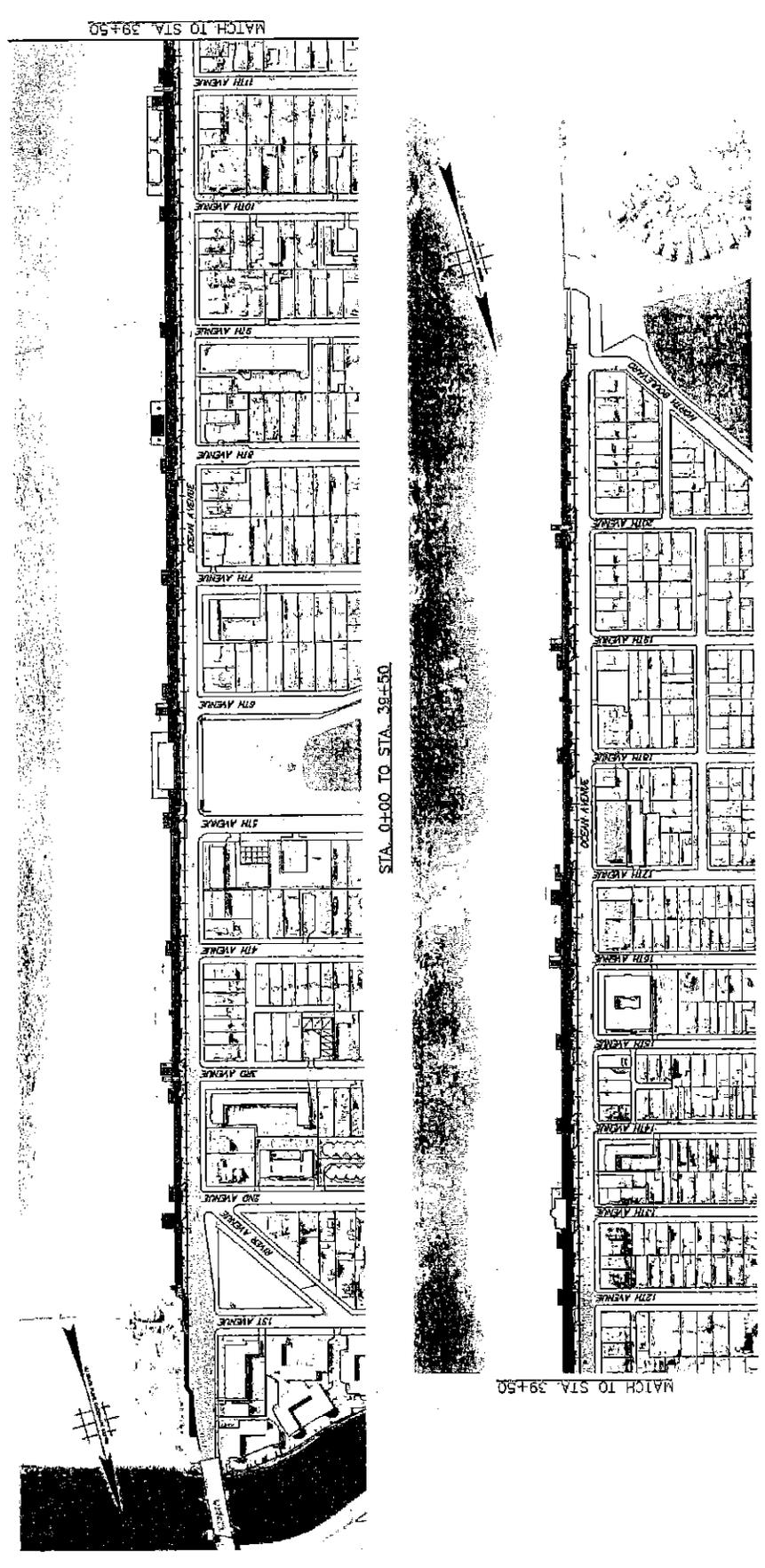
**BIRDSALL SERVICES GROUP**  
ENGINEERS & CONTRACTORS

*Paul Calabrese, P.E.*  
PAUL CALABRESE, P.E.  
REGISTERED PROFESSIONAL ENGINEER  
No. 120000000  
State of New Jersey

**TITLE SHEET**  
CONCRETE, PAVEMENT & STRIPING IMPROVEMENTS  
OCEAN AVENUE  
BOROUGH OF BELMAR

DATE: 1/11/13  
SCALE: AS SHOWN  
SHEET NO. 1 OF 31





STA. 0+00 TO STA. 39+50

STA. 39+50 TO STA. 70+19

- GENERAL NOTES**
1. LANDSCAPING TO BE INSTALLED IN GRADING ADJACENT TO PARKING AREAS TO BE LOW BUSHES OR PLANTS TO NOT EXCEED 18" HEIGHT. FINAL LANDSCAPE DESIGN TO BE COMPLETED BY THE CONTRACTOR.
  2. APPROACH END BEHIND OF LAWN/GRASS BEHINDS TO HAVE RECESSED CURB IN ACCORDANCE WITH CURB TRANSITION DETAIL (SEE SHEET 31).
  3. SEPARATE MEASUREMENT AND PAYMENT SHALL NOT BE MADE FOR THE 2' EXISTING PAVED ADJACENT TO CURB. ALL APPROXIMATE COSTS SHALL BE INCLUDED IN THE BID ITEM FOR A "PAVED" CONCRETE CURB.
  4. PARKING SPACE TO BE 12'0" WIDE BY 20'0" DEEP. THE 12'0" WIDE SHALL BE MEASURED FROM THE CENTERLINE OF THE DRIVEWAY. PAYMENT FOR SPACE NUMBERING TO BE MADE UNDER TRAFFIC MARKING, TRAFFIC MARKING SPACE NUMBERING.

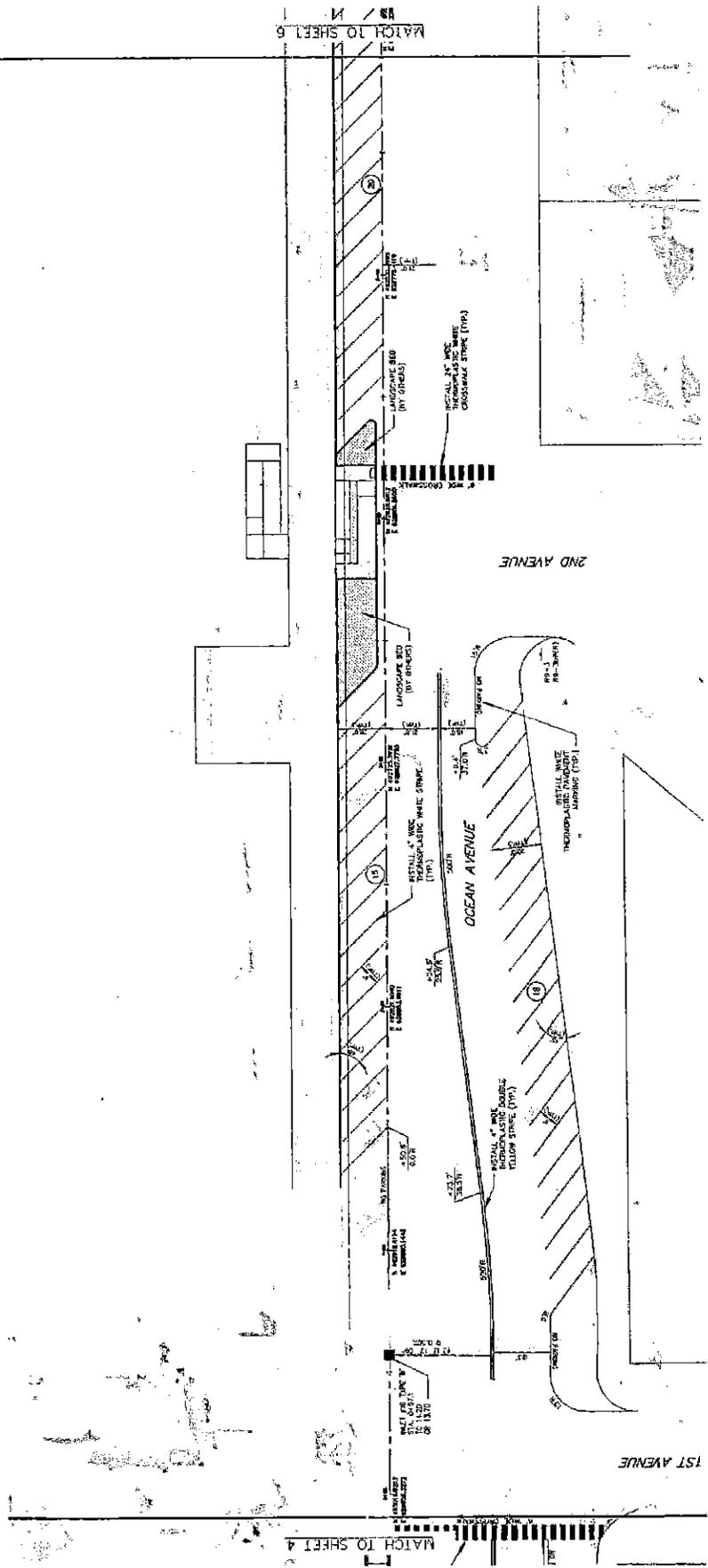


<b>BIRDSALL SERVICES GROUP</b> ENGINEERS & ARCHITECTS <b>PAUL CALABRESSE P.E.</b> 1000 ROUTE 100, SUITE 100 BELMAR, NJ 07718-1000 TEL: 908.328.1100 FAX: 908.328.1101		<b>OVERALL PLAN</b> <b>CONCRETE, PAYEMENT &amp; STRIPING IMPROVEMENTS</b> <b>OCEAN AVENUE</b> <b>BOROUGH OF BELMAR</b>	
DATE	NO.	SCALE	BY
05/11/11	1	AS SHOWN	PAUL CALABRESSE
PROJECT NO. 11-00000000-01 SHEET NO. 3 OF 31			APPROVED BY THE LOCAL AUTHORITY DATE 05/11/11

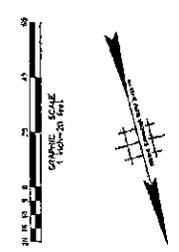


MATCH TO SHEET 6

MATCH TO SHEET 4



STA. 0+00 TO STA. 5+90.



PAYMENT MARKING	DESCRIPTION	MATERIAL
STOP LINE	1" WIDE SOLID WHITE	TERMOPLASTIC
CENTER LINE	1" WIDE YELLOW	TERMOPLASTIC
LANE LINE	1" WIDE SOLID WHITE	TERMOPLASTIC
CHALK MARKS	1" WIDE SOLID WHITE	TERMOPLASTIC
TRUCK STOP MARKS	1" WIDE SOLID WHITE	TERMOPLASTIC
STOP LINE	1" WIDE SOLID WHITE	TERMOPLASTIC
CHALK MARKS	1" WIDE SOLID WHITE	TERMOPLASTIC
TRUCK STOP MARKS	1" WIDE SOLID WHITE	TERMOPLASTIC
STOP LINE	1" WIDE SOLID WHITE	TERMOPLASTIC
CHALK MARKS	1" WIDE SOLID WHITE	TERMOPLASTIC
TRUCK STOP MARKS	1" WIDE SOLID WHITE	TERMOPLASTIC
STOP LINE	1" WIDE SOLID WHITE	TERMOPLASTIC
CHALK MARKS	1" WIDE SOLID WHITE	TERMOPLASTIC
TRUCK STOP MARKS	1" WIDE SOLID WHITE	TERMOPLASTIC

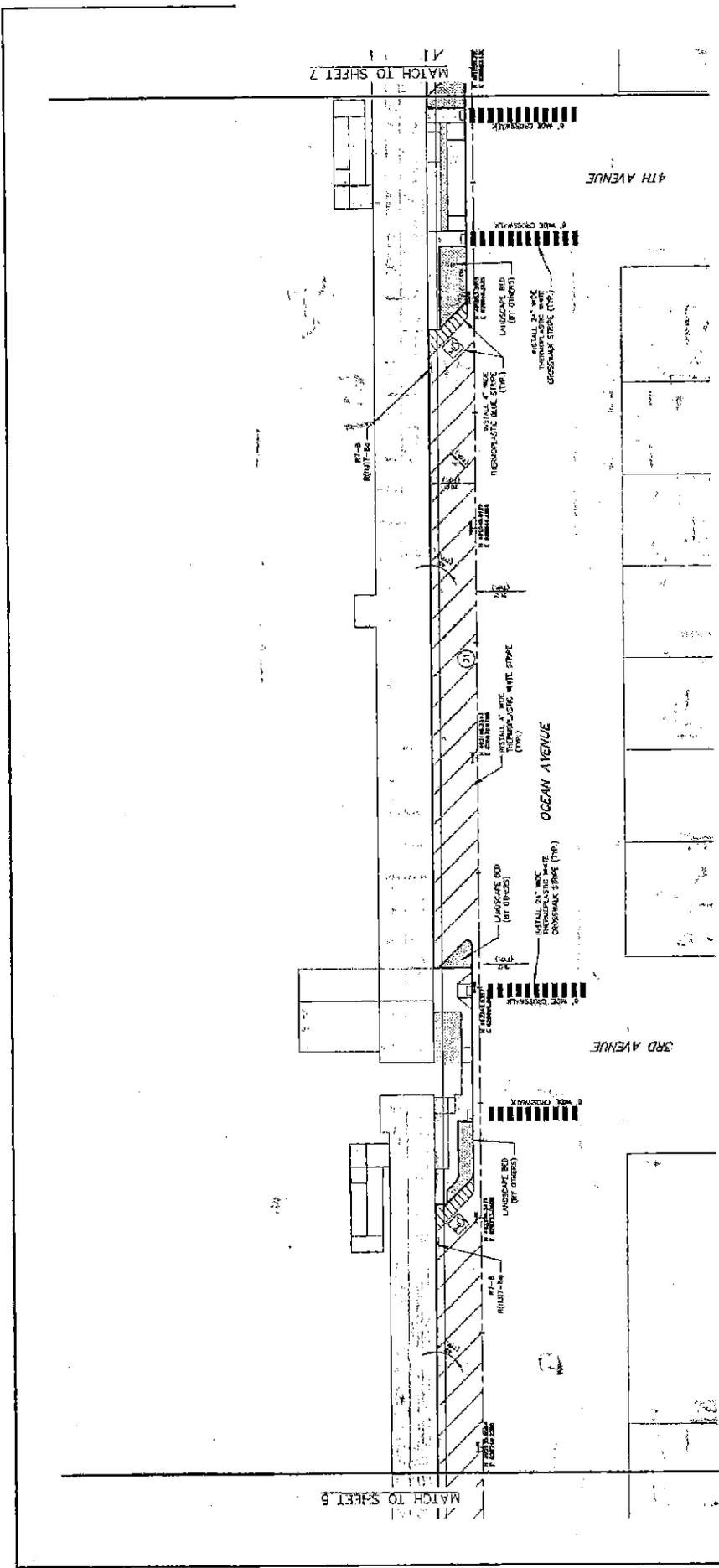
**BIRDSONG SERVICES GROUP**  
ENGINEERS & CONSULTANTS

*Paul Calabrese P.E.*  
**PAUL CALABRESE P.E.**

1115 State Street, Suite 201  
Belmar, NJ 07718  
Tel: 908.328.1234  
Fax: 908.328.1235  
www.birdsong.com

**SIGNING AND STRIPING PLAN**  
CONCRETE, PAVEMENT &  
STRIPING IMPROVEMENTS  
OCEAN AVENUE  
BOROUGH OF BELMAR

DATE: 08/15/12  
PROJECT NO.: 1200000001



STA. 5+90 TO STA. 11+90



PAVEMENT MARKING	DESCRIPTION	MATERIAL
ROAD MARKING	4\"/>	

**BIRDSEAL SERVICES GROUP**  
 CONSULTING ENGINEERS

*Paul Calabrese*  
**PAUL CALABRESE, P.E.**

1150 ROUTE 138  
 SUITE 100  
 FREEBORO, NJ 08802

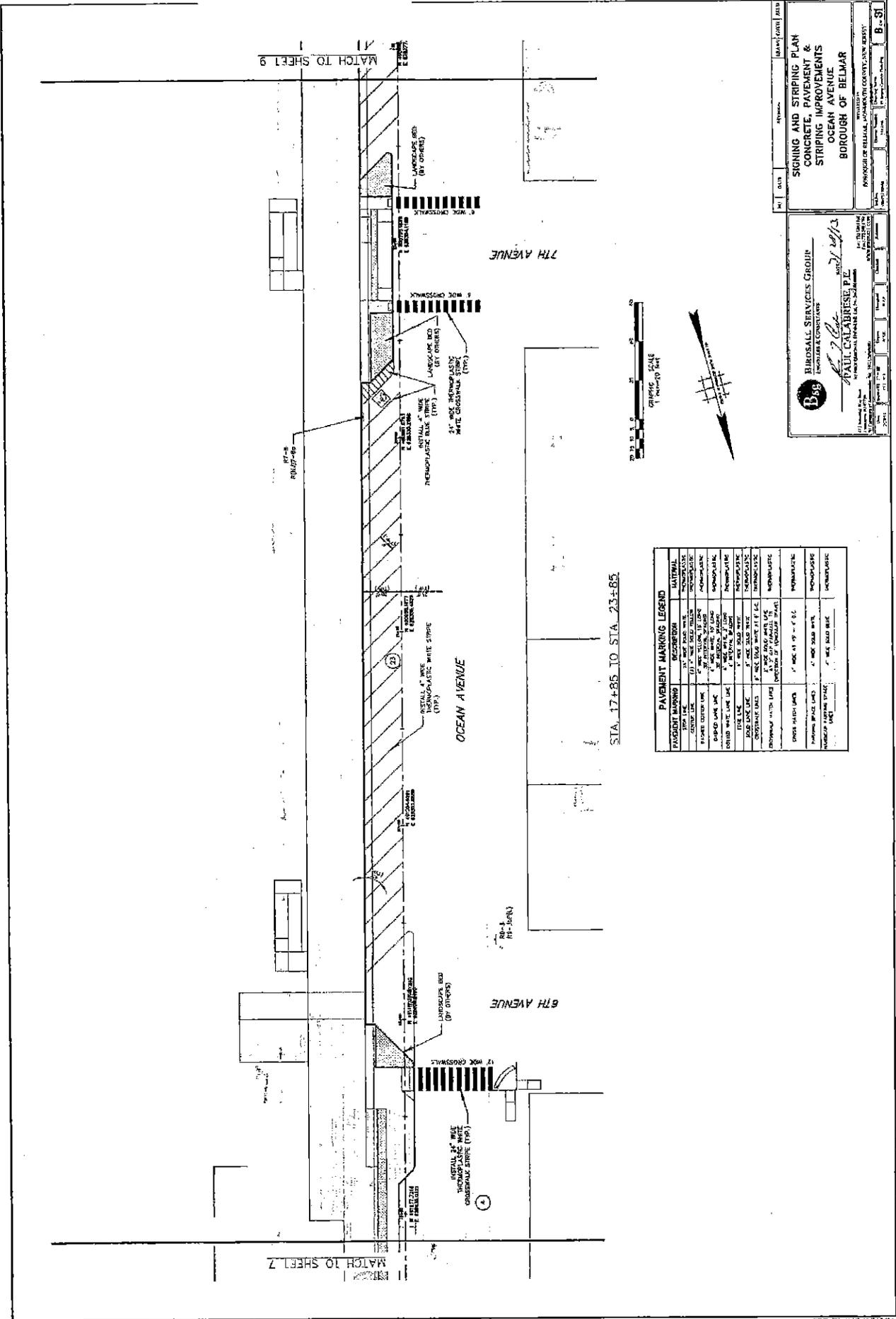
DATE: 11/11/13  
 SHEET NO.: 6 OF 31

**SIGNING AND STRIPING PLAN**  
**CONCRETE, PAVEMENT &**  
**STRIPING IMPROVEMENTS**  
**OCEAN AVENUE**  
**BOROUGH OF BELMAR**

APPROVED BY: [Signature]  
 DATE: 11/11/13

APPROVED BY: [Signature]  
 DATE: 11/11/13

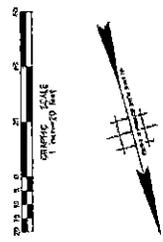




STA. 17+85 TO STA. 23+85

**PAYMENT MARKING LEGEND**

PAVEMENT MARKING	DESCRIPTION	MATERIAL
CENTER LINE	1" WIDE SOLID WHITE	THICKENED WHITE CROSSWALK STRIPE (TYP)
EDGE LINE	1" WIDE SOLID WHITE	THICKENED WHITE CROSSWALK STRIPE (TYP)
ROAD SHOULDER LINE	1" WIDE SOLID WHITE	THICKENED WHITE CROSSWALK STRIPE (TYP)
STOP BAR	4" WIDE SOLID WHITE	THICKENED WHITE CROSSWALK STRIPE (TYP)
TRUCK STOP STRIPE	4" WIDE SOLID WHITE	THICKENED WHITE CROSSWALK STRIPE (TYP)
TRUCK STOP STRIPE (L)	4" WIDE SOLID WHITE	THICKENED WHITE CROSSWALK STRIPE (TYP)
TRUCK STOP STRIPE (R)	4" WIDE SOLID WHITE	THICKENED WHITE CROSSWALK STRIPE (TYP)
TRUCK STOP STRIPE (L & R)	4" WIDE SOLID WHITE	THICKENED WHITE CROSSWALK STRIPE (TYP)
CROSSWALK	17" WIDE SOLID WHITE	THICKENED WHITE CROSSWALK STRIPE (TYP)
TRUCK STOP STRIPE (L & R)	4" WIDE SOLID WHITE	THICKENED WHITE CROSSWALK STRIPE (TYP)
TRUCK STOP STRIPE (L)	4" WIDE SOLID WHITE	THICKENED WHITE CROSSWALK STRIPE (TYP)
TRUCK STOP STRIPE (R)	4" WIDE SOLID WHITE	THICKENED WHITE CROSSWALK STRIPE (TYP)



**BIRDSELL SERVICES GROUP**  
ENGINEERS/CONSULTANTS

*Paul Galbreath, P.E.*  
PAUL GALBREATH, P.E.  
1000 BELMONT AVENUE  
BELMONT, NEW JERSEY 07003

**LANDSCAPE BED (BY OTHERS)**

**CONCRETE, PAVEMENT & STRIPING IMPROVEMENTS**  
OCEAN AVENUE  
BOROUGH OF BELMAR

**PROJECT NO.** 17-085  
**DATE** 11/13/13  
**SCALE** 1" = 20'-0"

**REV.** 1  
**DATE** 11/13/13  
**BY** [Signature]  
**CHECKED** [Signature]

**PROJECT NO.** 17-085  
**DATE** 11/13/13  
**SCALE** 1" = 20'-0"

**REV.** 1  
**DATE** 11/13/13  
**BY** [Signature]  
**CHECKED** [Signature]

**PROJECT NO.** 17-085  
**DATE** 11/13/13  
**SCALE** 1" = 20'-0"

**REV.** 1  
**DATE** 11/13/13  
**BY** [Signature]  
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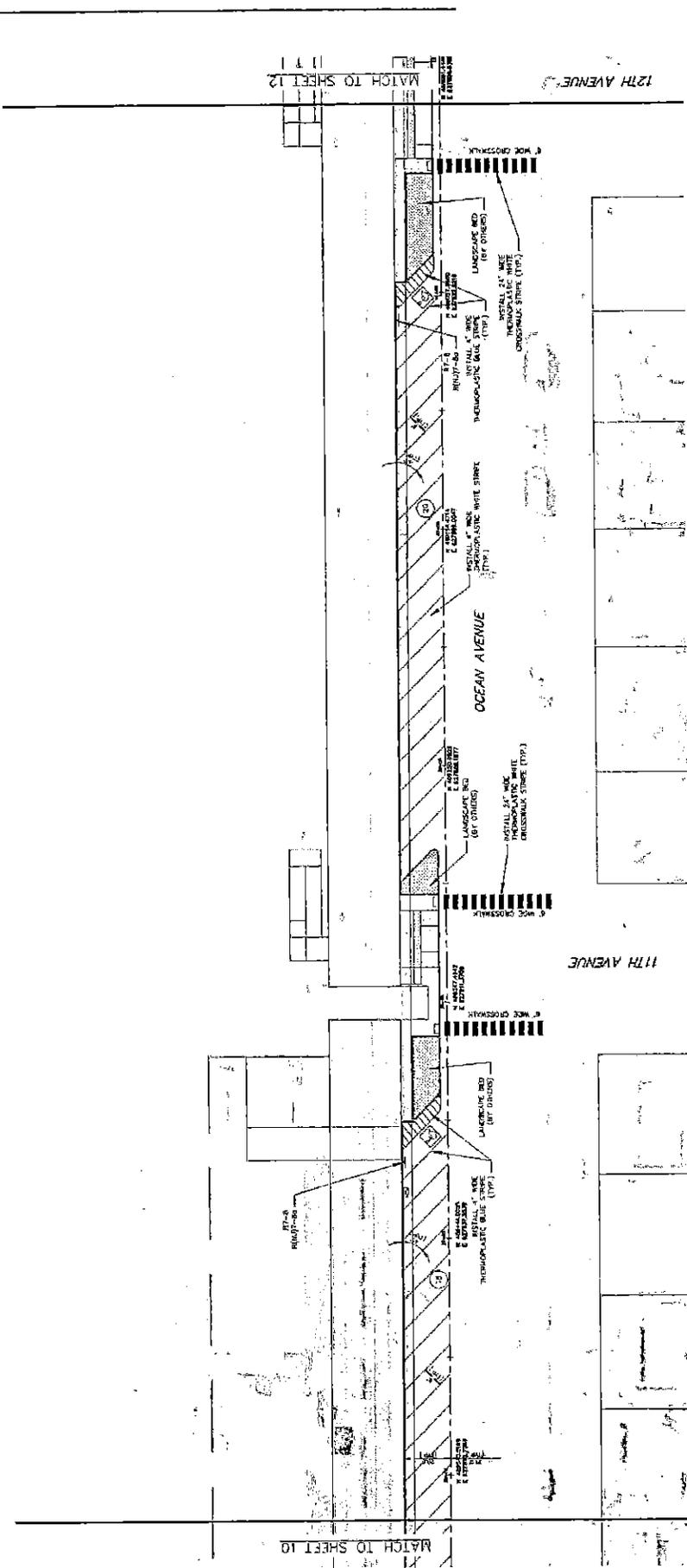


MATCH TO SHEET 12

12TH AVENUE

MATCH TO SHEET 10

11TH AVENUE



STA. 35+80 TO STA. 41+80



PAVEMENT MARKING LEGEND	
PAVEMENT MARKING	DESCRIPTION
1" WIDE YELLOW LINE	1" WIDE YELLOW LINE
2" WIDE YELLOW LINE	2" WIDE YELLOW LINE
4" WIDE YELLOW LINE	4" WIDE YELLOW LINE
6" WIDE YELLOW LINE	6" WIDE YELLOW LINE
8" WIDE YELLOW LINE	8" WIDE YELLOW LINE
12" WIDE YELLOW LINE	12" WIDE YELLOW LINE
1" WIDE WHITE LINE	1" WIDE WHITE LINE
2" WIDE WHITE LINE	2" WIDE WHITE LINE
4" WIDE WHITE LINE	4" WIDE WHITE LINE
6" WIDE WHITE LINE	6" WIDE WHITE LINE
8" WIDE WHITE LINE	8" WIDE WHITE LINE
12" WIDE WHITE LINE	12" WIDE WHITE LINE
1" WIDE RED LINE	1" WIDE RED LINE
2" WIDE RED LINE	2" WIDE RED LINE
4" WIDE RED LINE	4" WIDE RED LINE
6" WIDE RED LINE	6" WIDE RED LINE
8" WIDE RED LINE	8" WIDE RED LINE
12" WIDE RED LINE	12" WIDE RED LINE
1" WIDE YELLOW AND WHITE STRIPED LINE	1" WIDE YELLOW AND WHITE STRIPED LINE
2" WIDE YELLOW AND WHITE STRIPED LINE	2" WIDE YELLOW AND WHITE STRIPED LINE
4" WIDE YELLOW AND WHITE STRIPED LINE	4" WIDE YELLOW AND WHITE STRIPED LINE
6" WIDE YELLOW AND WHITE STRIPED LINE	6" WIDE YELLOW AND WHITE STRIPED LINE
8" WIDE YELLOW AND WHITE STRIPED LINE	8" WIDE YELLOW AND WHITE STRIPED LINE
12" WIDE YELLOW AND WHITE STRIPED LINE	12" WIDE YELLOW AND WHITE STRIPED LINE
1" WIDE WHITE AND RED STRIPED LINE	1" WIDE WHITE AND RED STRIPED LINE
2" WIDE WHITE AND RED STRIPED LINE	2" WIDE WHITE AND RED STRIPED LINE
4" WIDE WHITE AND RED STRIPED LINE	4" WIDE WHITE AND RED STRIPED LINE
6" WIDE WHITE AND RED STRIPED LINE	6" WIDE WHITE AND RED STRIPED LINE
8" WIDE WHITE AND RED STRIPED LINE	8" WIDE WHITE AND RED STRIPED LINE
12" WIDE WHITE AND RED STRIPED LINE	12" WIDE WHITE AND RED STRIPED LINE

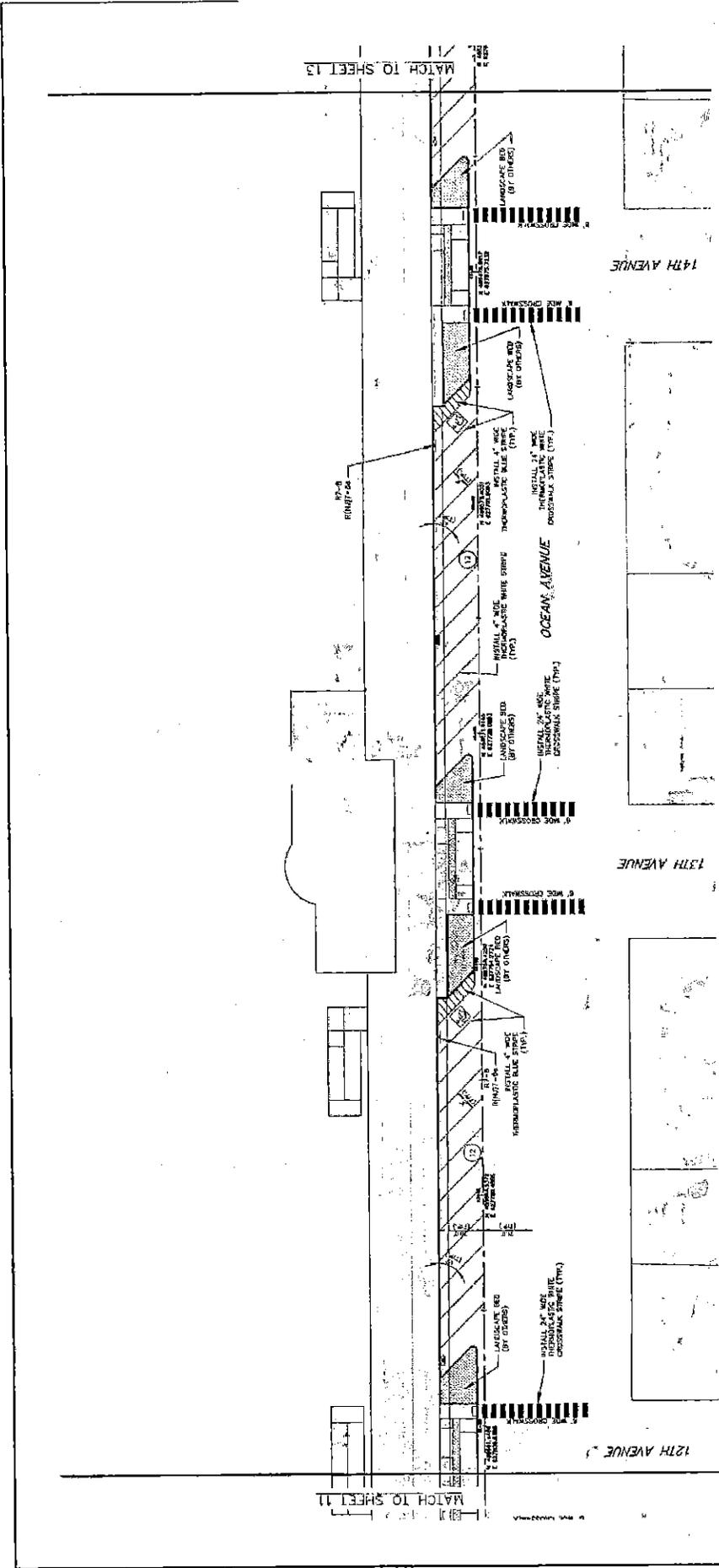
**BIRDSCALE SERVICES GROUP**  
A Division of  
**PAUL CALABRESSE, P.E.**

141 North 10th Street  
Belmar, NJ 07718  
Tel: 908.328.1111  
Fax: 908.328.1112

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**SIGNING AND STRIPING PLAN**  
CONCRETE, PAVEMENT &  
STRIPING IMPROVEMENTS  
OCEAN AVENUE  
BOROUGH OF BELMAR

DATE: \_\_\_\_\_  
SCALE: \_\_\_\_\_  
SHEET NO. \_\_\_\_\_ OF \_\_\_\_\_



MATCH TO SHEET 13

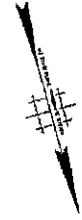
MATCH TO SHEET 11

14TH AVENUE

13TH AVENUE

12TH AVENUE

STA. 41+80 TO STA. 47+80



PAVEMENT MARKING	DESCRIPTION	NATIONAL
PAVEMENT MARKING	DESCRIPTION	NATIONAL
4" WIDE YELLOW	4" WIDE YELLOW	NON-PRESCRIPTIVE
4" WIDE RED	4" WIDE RED	NON-PRESCRIPTIVE
4" WIDE WHITE	4" WIDE WHITE	NON-PRESCRIPTIVE
4" WIDE BLUE	4" WIDE BLUE	NON-PRESCRIPTIVE
4" WIDE GREEN	4" WIDE GREEN	NON-PRESCRIPTIVE
4" WIDE PURPLE	4" WIDE PURPLE	NON-PRESCRIPTIVE
4" WIDE BROWN	4" WIDE BROWN	NON-PRESCRIPTIVE
4" WIDE PINK	4" WIDE PINK	NON-PRESCRIPTIVE
4" WIDE GRAY	4" WIDE GRAY	NON-PRESCRIPTIVE
4" WIDE BLACK	4" WIDE BLACK	NON-PRESCRIPTIVE
4" WIDE SILVER	4" WIDE SILVER	NON-PRESCRIPTIVE
4" WIDE GOLD	4" WIDE GOLD	NON-PRESCRIPTIVE
4" WIDE IRIDESCENT	4" WIDE IRIDESCENT	NON-PRESCRIPTIVE
4" WIDE FLUORESCENT	4" WIDE FLUORESCENT	NON-PRESCRIPTIVE
4" WIDE THERMOPLASTIC	4" WIDE THERMOPLASTIC	NON-PRESCRIPTIVE
4" WIDE THERMOPLASTIC WITH GLITTER	4" WIDE THERMOPLASTIC WITH GLITTER	NON-PRESCRIPTIVE
4" WIDE THERMOPLASTIC WITH BEADS	4" WIDE THERMOPLASTIC WITH BEADS	NON-PRESCRIPTIVE
4" WIDE THERMOPLASTIC WITH GLITTER AND BEADS	4" WIDE THERMOPLASTIC WITH GLITTER AND BEADS	NON-PRESCRIPTIVE
4" WIDE THERMOPLASTIC WITH BEADS AND GLITTER	4" WIDE THERMOPLASTIC WITH BEADS AND GLITTER	NON-PRESCRIPTIVE
4" WIDE THERMOPLASTIC WITH BEADS, GLITTER AND GLASS	4" WIDE THERMOPLASTIC WITH BEADS, GLITTER AND GLASS	NON-PRESCRIPTIVE
4" WIDE THERMOPLASTIC WITH BEADS, GLITTER AND GLASS AND GLITTER	4" WIDE THERMOPLASTIC WITH BEADS, GLITTER AND GLASS AND GLITTER	NON-PRESCRIPTIVE
4" WIDE THERMOPLASTIC WITH BEADS, GLITTER AND GLASS AND GLITTER AND GLASS	4" WIDE THERMOPLASTIC WITH BEADS, GLITTER AND GLASS AND GLITTER AND GLASS	NON-PRESCRIPTIVE
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**BIRDSALL SERVICES GROUP**  
INCORPORATED

**PAUL CALABRISSE, P.E.**

REGISTERED PROFESSIONAL ENGINEER

STATE OF NEW YORK

NO. 123456789

EXPIRES 12/31/2010

12.31.09

**SIGNING AND STRIPING PLAN**  
CONCRETE, PAVEMENT &  
STRIPING IMPROVEMENTS  
OCEAN AVENUE  
BOROUGH OF BELMAR

NO. 123456789

EXPIRES 12/31/2010

12.31.09



