

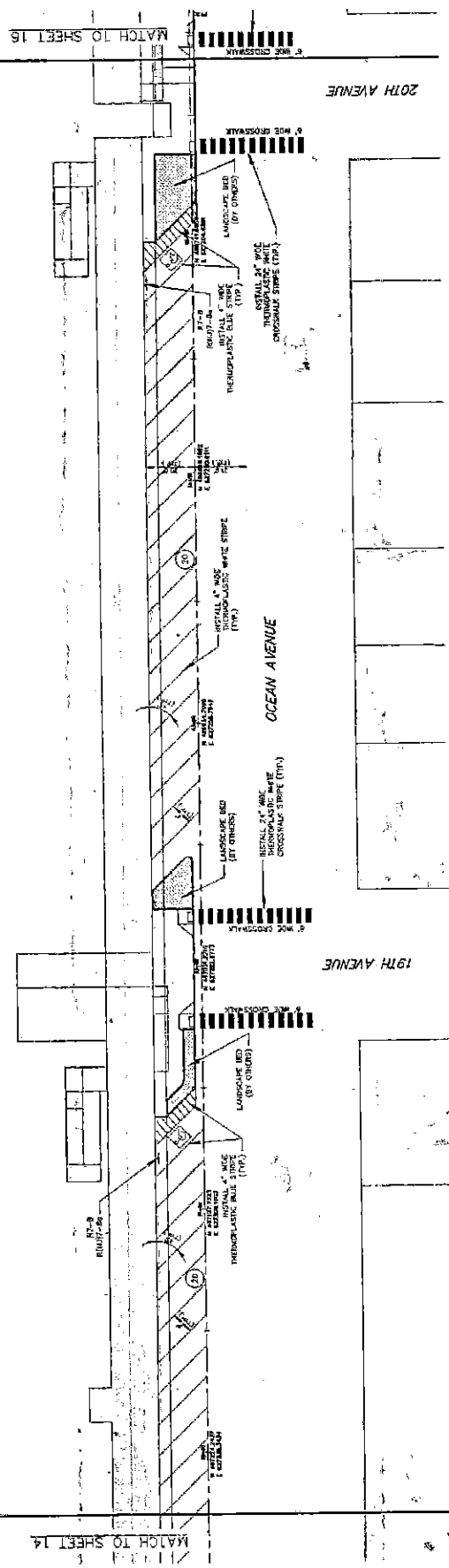
MATCH TO SHEET 16

MATCH TO SHEET 14

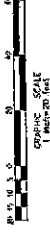
20TH AVENUE

19TH AVENUE

OCEAN AVENUE



STA. 59+75 TO STA. 65+75



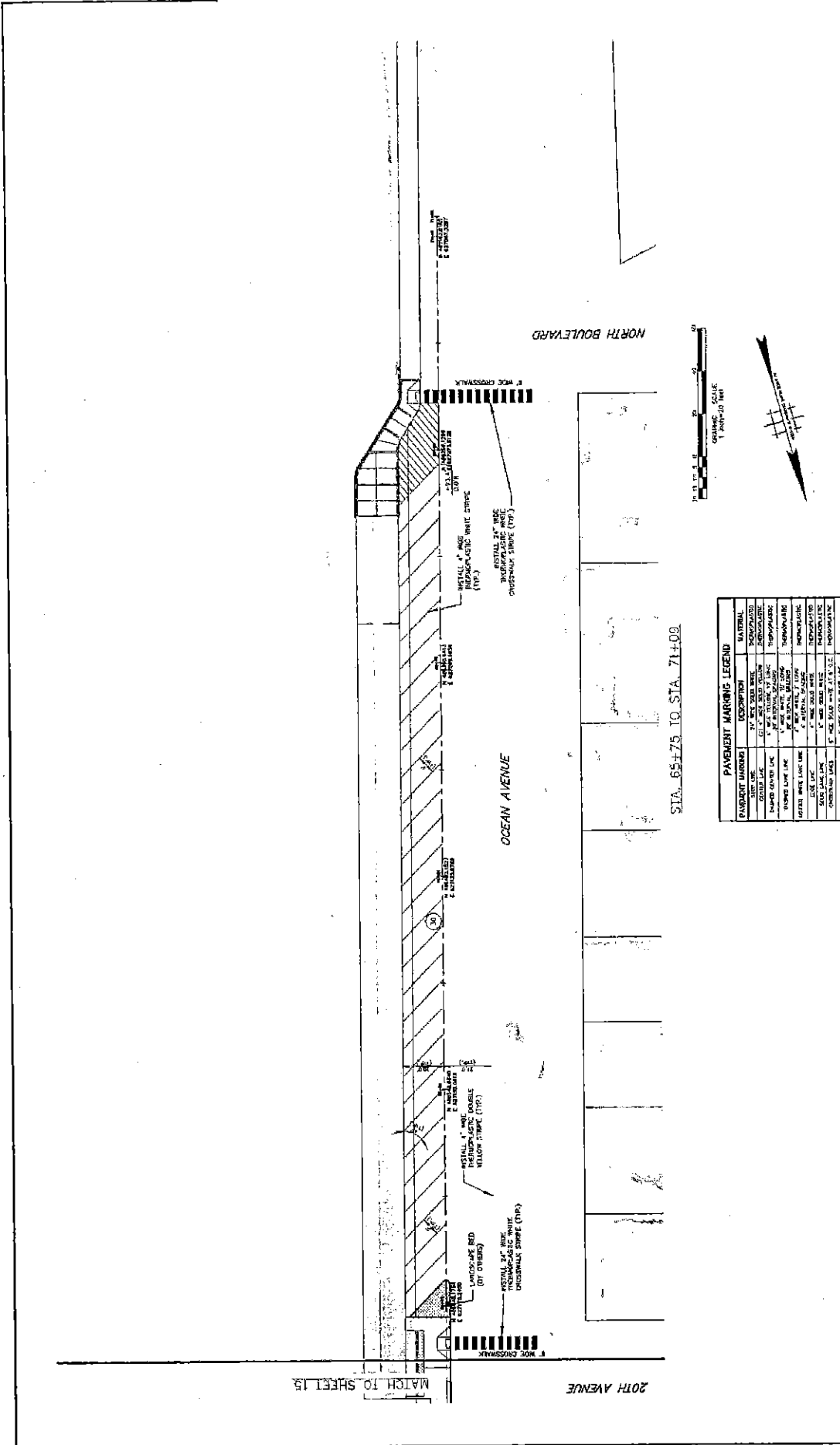
PAVEMENT MARKING	DESCRIPTION	MATERIAL
1" WIDE YELLOW	1" WIDE YELLOW PAINT	NONSKID PAINT
4" WIDE YELLOW	4" WIDE YELLOW PAINT	NONSKID PAINT
1" WIDE RED	1" WIDE RED PAINT	NONSKID PAINT
4" WIDE RED	4" WIDE RED PAINT	NONSKID PAINT
1" WIDE WHITE	1" WIDE WHITE PAINT	NONSKID PAINT
4" WIDE WHITE	4" WIDE WHITE PAINT	NONSKID PAINT
1" WIDE BLACK	1" WIDE BLACK PAINT	NONSKID PAINT
4" WIDE BLACK	4" WIDE BLACK PAINT	NONSKID PAINT
1" WIDE BLUE	1" WIDE BLUE PAINT	NONSKID PAINT
4" WIDE BLUE	4" WIDE BLUE PAINT	NONSKID PAINT
1" WIDE GREEN	1" WIDE GREEN PAINT	NONSKID PAINT
4" WIDE GREEN	4" WIDE GREEN PAINT	NONSKID PAINT
1" WIDE PURPLE	1" WIDE PURPLE PAINT	NONSKID PAINT
4" WIDE PURPLE	4" WIDE PURPLE PAINT	NONSKID PAINT
1" WIDE BROWN	1" WIDE BROWN PAINT	NONSKID PAINT
4" WIDE BROWN	4" WIDE BROWN PAINT	NONSKID PAINT
1" WIDE SILVER	1" WIDE SILVER PAINT	NONSKID PAINT
4" WIDE SILVER	4" WIDE SILVER PAINT	NONSKID PAINT
1" WIDE GOLD	1" WIDE GOLD PAINT	NONSKID PAINT
4" WIDE GOLD	4" WIDE GOLD PAINT	NONSKID PAINT
1" WIDE PINK	1" WIDE PINK PAINT	NONSKID PAINT
4" WIDE PINK	4" WIDE PINK PAINT	NONSKID PAINT
1" WIDE GRAY	1" WIDE GRAY PAINT	NONSKID PAINT
4" WIDE GRAY	4" WIDE GRAY PAINT	NONSKID PAINT
1" WIDE BLACK	1" WIDE BLACK PAINT	NONSKID PAINT
4" WIDE BLACK	4" WIDE BLACK PAINT	NONSKID PAINT

BIRDSONG SERVICES GROUP
 CONSULTANTS

PAUL CALABRESI, P.E.

SIGNING AND STRIPING PLAN
 CONCRETE, PAVEMENT &
 STRIPING IMPROVEMENTS
 OCEAN AVENUE
 BOROUGH OF BELMAR

DATE: 08/15/2011
 TIME: 10:00 AM
 PROJECT: 15-01



20TH AVENUE

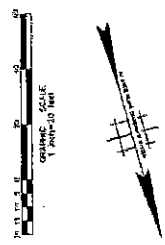
OCEAN AVENUE

NORTH BOULEVARD

STA. 65+75 TO STA. 71+00

PAVEMENT MARKING LEGEND

PAVEMENT MARKING	DESCRIPTION	MATERIAL
ROAD LINE	3" WIDE RED LINE	DECOLORANT
ROAD LINE	3" WIDE WHITE LINE	REFLECTIVE
ROAD LINE	3" WIDE YELLOW LINE	REFLECTIVE
ROAD LINE	3" WIDE GREEN LINE	REFLECTIVE
ROAD LINE	3" WIDE BLUE LINE	REFLECTIVE
ROAD LINE	3" WIDE PURPLE LINE	REFLECTIVE
ROAD LINE	3" WIDE PINK LINE	REFLECTIVE
ROAD LINE	3" WIDE BROWN LINE	REFLECTIVE
ROAD LINE	3" WIDE BLACK LINE	REFLECTIVE
ROAD LINE	3" WIDE GREY LINE	REFLECTIVE
ROAD LINE	3" WIDE SILVER LINE	REFLECTIVE
ROAD LINE	3" WIDE GOLD LINE	REFLECTIVE
ROAD LINE	3" WIDE COPPER LINE	REFLECTIVE
ROAD LINE	3" WIDE BRASS LINE	REFLECTIVE
ROAD LINE	3" WIDE IRON LINE	REFLECTIVE
ROAD LINE	3" WIDE ZINC LINE	REFLECTIVE
ROAD LINE	3" WIDE ALUMINUM LINE	REFLECTIVE
ROAD LINE	3" WIDE MAGNESIUM LINE	REFLECTIVE
ROAD LINE	3" WIDE MANGANESE LINE	REFLECTIVE
ROAD LINE	3" WIDE SILICON LINE	REFLECTIVE
ROAD LINE	3" WIDE PHOSPHORUS LINE	REFLECTIVE
ROAD LINE	3" WIDE SULFUR LINE	REFLECTIVE
ROAD LINE	3" WIDE CHLORINE LINE	REFLECTIVE
ROAD LINE	3" WIDE FLUORINE LINE	REFLECTIVE
ROAD LINE	3" WIDE IODINE LINE	REFLECTIVE
ROAD LINE	3" WIDE BARIUM LINE	REFLECTIVE
ROAD LINE	3" WIDE STRONTIUM LINE	REFLECTIVE
ROAD LINE	3" WIDE CALCIUM LINE	REFLECTIVE
ROAD LINE	3" WIDE SODIUM LINE	REFLECTIVE
ROAD LINE	3" WIDE POTASSIUM LINE	REFLECTIVE
ROAD LINE	3" WIDE LITHIUM LINE	REFLECTIVE
ROAD LINE	3" WIDE BERYLLIUM LINE	REFLECTIVE
ROAD LINE	3" WIDE MANGANESE LINE	REFLECTIVE
ROAD LINE	3" WIDE ZINC LINE	REFLECTIVE
ROAD LINE	3" WIDE ALUMINUM LINE	REFLECTIVE
ROAD LINE	3" WIDE SILICON LINE	REFLECTIVE
ROAD LINE	3" WIDE PHOSPHORUS LINE	REFLECTIVE
ROAD LINE	3" WIDE SULFUR LINE	REFLECTIVE
ROAD LINE	3" WIDE CHLORINE LINE	REFLECTIVE
ROAD LINE	3" WIDE FLUORINE LINE	REFLECTIVE
ROAD LINE	3" WIDE IODINE LINE	REFLECTIVE
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ROAD LINE	3" WIDE CALCIUM LINE	REFLECTIVE
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ROAD LINE	3" WIDE LITHIUM LINE	REFLECTIVE
ROAD LINE	3" WIDE BERYLLIUM LINE	REFLECTIVE
ROAD LINE	3" WIDE MANGANESE LINE	REFLECTIVE
ROAD LINE	3" WIDE ZINC LINE	REFLECTIVE
ROAD LINE	3" WIDE ALUMINUM LINE	REFLECTIVE
ROAD LINE	3" WIDE SILICON LINE	REFLECTIVE
ROAD LINE	3" WIDE PHOSPHORUS LINE	REFLECTIVE
ROAD LINE	3" WIDE SULFUR LINE	REFLECTIVE
ROAD LINE	3" WIDE CHLORINE LINE	REFLECTIVE
ROAD LINE	3" WIDE FLUORINE LINE	REFLECTIVE
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ROAD LINE	3" WIDE SODIUM LINE	REFLECTIVE
ROAD LINE	3" WIDE POTASSIUM LINE	REFLECTIVE
ROAD LINE	3" WIDE LITHIUM LINE	REFLECTIVE
ROAD LINE	3" WIDE BERYLLIUM LINE	REFLECTIVE

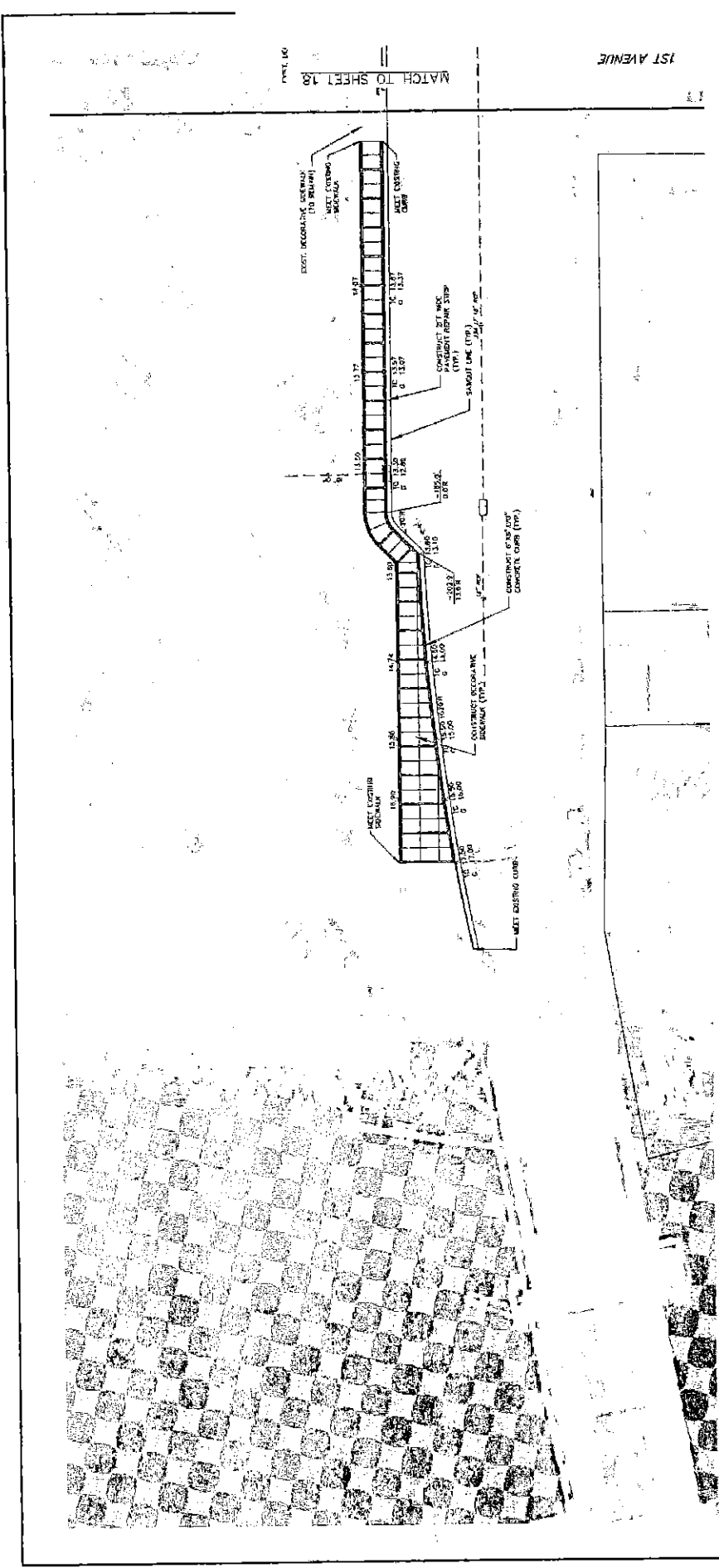


SIGNING AND STRIPING PLAN
CONCRETE, PAVEMENT &
STRIPING IMPROVEMENTS
OCEAN AVENUE
BOROUGH OF BELMAR

BIRDSELL SERVICES GROUP
 ENGINEERS & CONSULTANTS

[Signature]
PATRICIA BIRDSELL, P.E.
 REGISTERED PROFESSIONAL ENGINEER

169-01



NO.	DATE	REVISION

**CONCRETE AND PAVEMENT PLAN
CONCRETE, PAVEMENT &
STRIPING IMPROVEMENTS
OCEAN AVENUE
BOROUGH OF BELMAR**

BIRDSELL SERVICES GROUP
CONSULTANTS & CONTRACTORS

Paul Galabrese
PAUL GALABRESE, P.E.
REGISTERED PROFESSIONAL ENGINEER
No. 10,000,000, State of New Jersey

PROJECT NO. 10-2015-01
DATE: 07/17/15

NOTES:

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS FOR STANDARD SPECIFICATIONS FOR PUBLIC WORKS, LATEST EDITION, AS ADOPTED BY THE BOARD OF SUPERVISORS OF THE BOROUGH OF BELMAR.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
3. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AND UTILITIES AT ALL TIMES.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND RESTORATION OF ALL EXISTING UTILITIES AND STRUCTURES.
5. THE CONTRACTOR SHALL MAINTAIN TRAFFIC CONTROL THROUGHOUT THE PROJECT.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL AND DISPOSAL OF ALL DEBRIS AND EXCESS MATERIAL.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND RESTORATION OF ALL EXISTING CURBS AND PAVEMENT.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND RESTORATION OF ALL EXISTING TREES AND LANDSCAPE.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND RESTORATION OF ALL EXISTING SIGNAGE.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND RESTORATION OF ALL EXISTING UTILITIES.

APPENDIX A:

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS FOR STANDARD SPECIFICATIONS FOR PUBLIC WORKS, LATEST EDITION, AS ADOPTED BY THE BOARD OF SUPERVISORS OF THE BOROUGH OF BELMAR.

2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

3. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AND UTILITIES AT ALL TIMES.

4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND RESTORATION OF ALL EXISTING UTILITIES AND STRUCTURES.

5. THE CONTRACTOR SHALL MAINTAIN TRAFFIC CONTROL THROUGHOUT THE PROJECT.

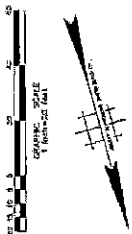
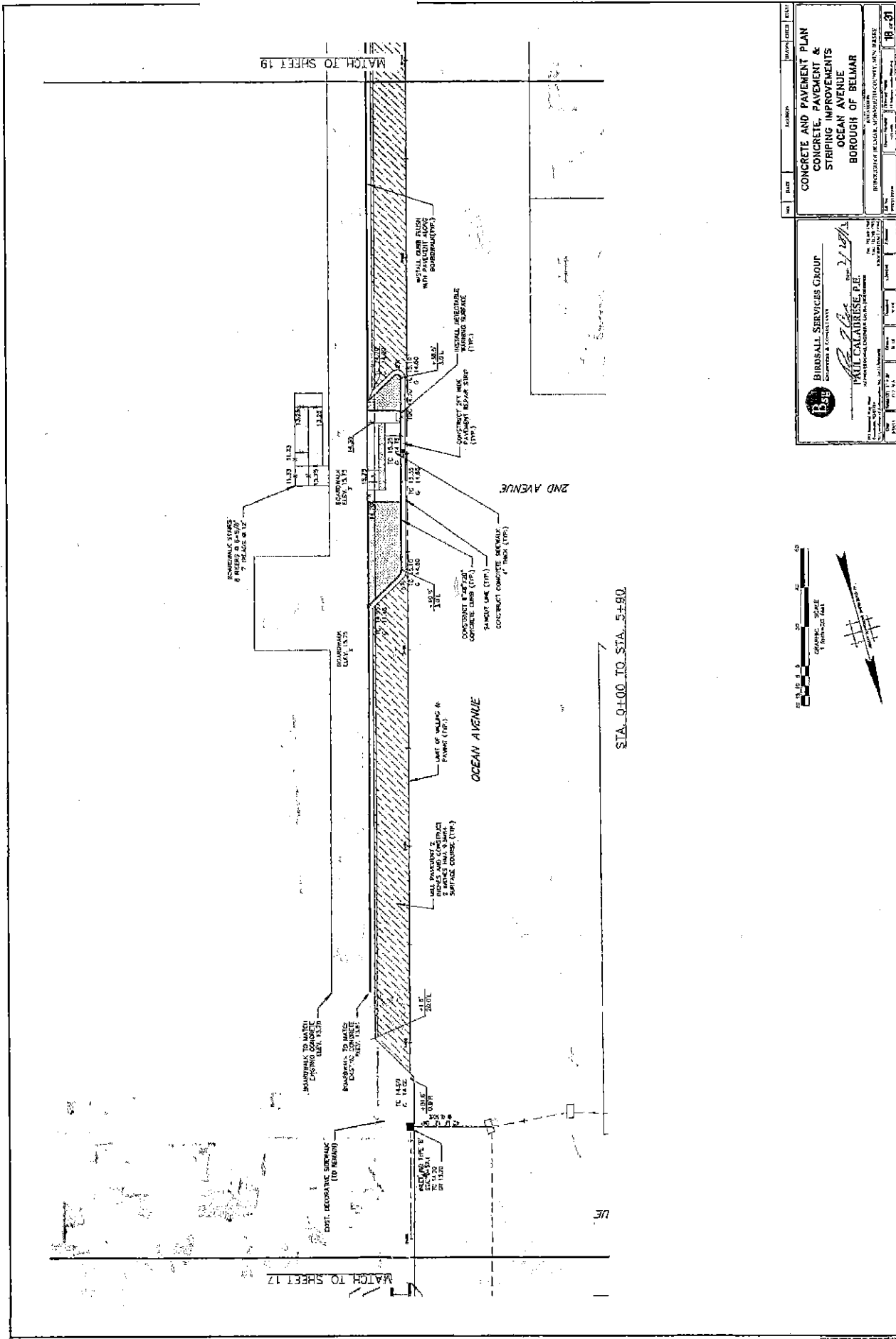
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL AND DISPOSAL OF ALL DEBRIS AND EXCESS MATERIAL.

7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND RESTORATION OF ALL EXISTING CURBS AND PAVEMENT.

8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND RESTORATION OF ALL EXISTING TREES AND LANDSCAPE.

9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND RESTORATION OF ALL EXISTING SIGNAGE.

10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND RESTORATION OF ALL EXISTING UTILITIES.



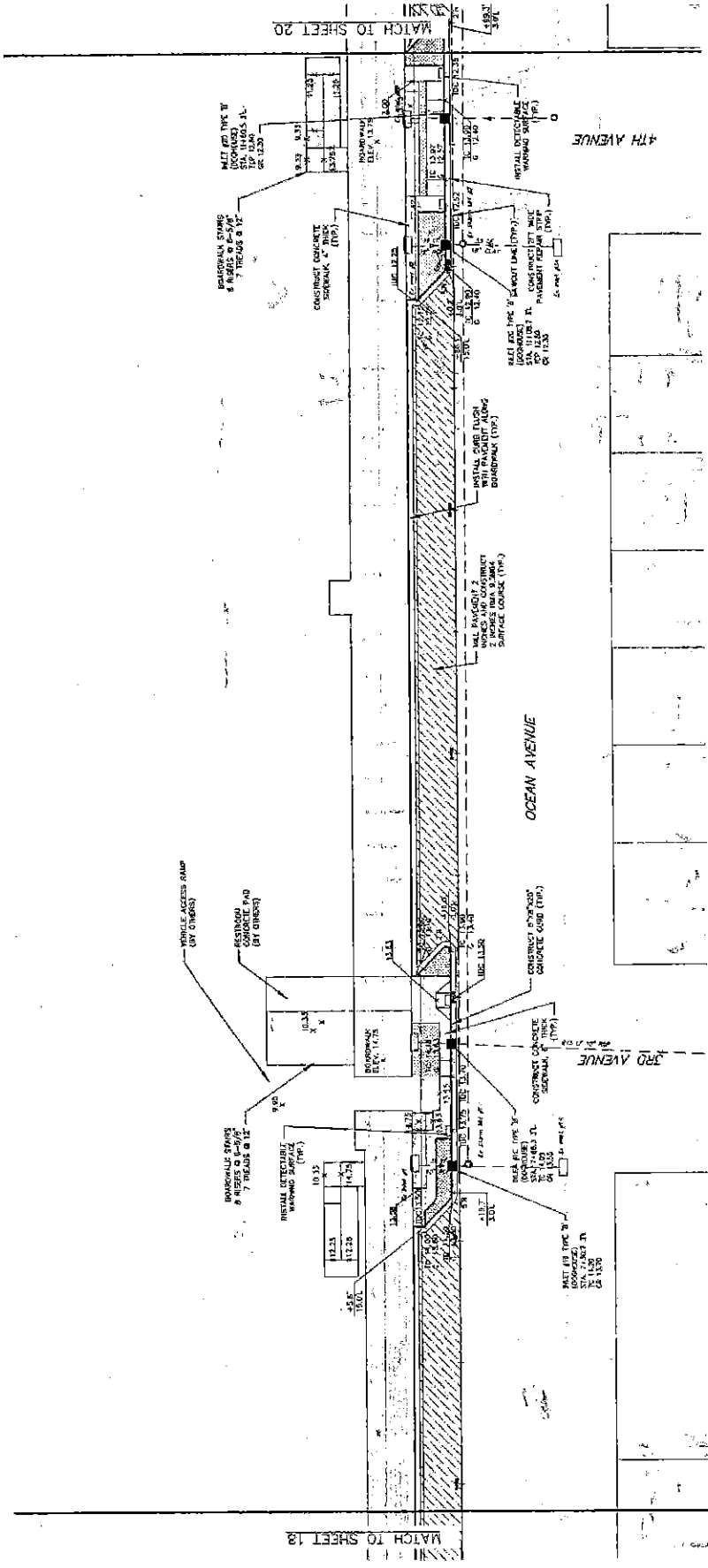
NO.	DATE	REVISION	BY

CONCRETE AND PAVEMENT PLAN
CONCRETE, PAVEMENT & STRIPING IMPROVEMENTS
OCEAN AVENUE
BOROUGH OF BELMAR

BIRDALL SERVICES GROUP
 CONSULTANTS & CONTRACTORS

MULLAUBRISSE P.E.
 PROFESSIONAL ENGINEER

PROJECT NO. 18-01
 SHEET NO. 18-01

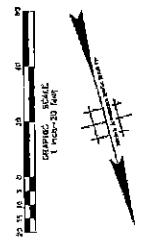


OCEAN AVENUE

370 AVENUE

4TH AVENUE

STA. 5+90 TO STA. 11+90



BIRDSONG SERVICES GROUP
 ENGINEERING & CONSULTING
 PAUL CALABRISSE, P.E.
 PROFESSIONAL ENGINEER No. 14120

CONCRETE AND PAVEMENT PLAN
 CONCRETE, PAVEMENT &
 STRIPING IMPROVEMENTS
 OCEAN AVENUE
 BOROUGH OF BELMAR

DATE: 10/15/19
 DRAWN BY: J. CALABRISSE
 CHECKED BY: J. CALABRISSE
 PROJECT NO.: 19-001
 SHEET NO.: 19-001-01

MATCH TO SHEET 20

MATCH TO SHEET 18

MATCH TO SHEET 21

MATCH TO SHEET 19

CONCRETE STAIRS
8 WIDE x 6-1/2" H
3 TIGERS @ 11"

SEWER
DIA. 18"
D.E.V. 13.00

CONCRETE SLAB
TYPE X
12" THICK
WITH REINFORCEMENT
ST. 14-18" (11)

INTERNAL CURB (12")
WITH PARALLEL ALONG
SIDEWALK (12")

PART OF WALKING &
PARKING (12")

PAVING AND CONSTRUCT
2 INCHES MIN. 12" DIA.
SURFACE COURSE (12")

CONTRACTOR TO
INSTALL 12" DIA. W/ 12" DIA.
CONCRETE CURB (12")

CONTRACTOR TO
CONSTRUCT SET WALK
PARKING SURFACE (12")

CONTRACTOR TO
CONSTRUCT CONCRETE
WALKING SURFACE (12")

CONTRACTOR TO
CONSTRUCT CONCRETE
WALKING SURFACE (12")

CONTRACTOR TO
CONSTRUCT CONCRETE
WALKING SURFACE (12")

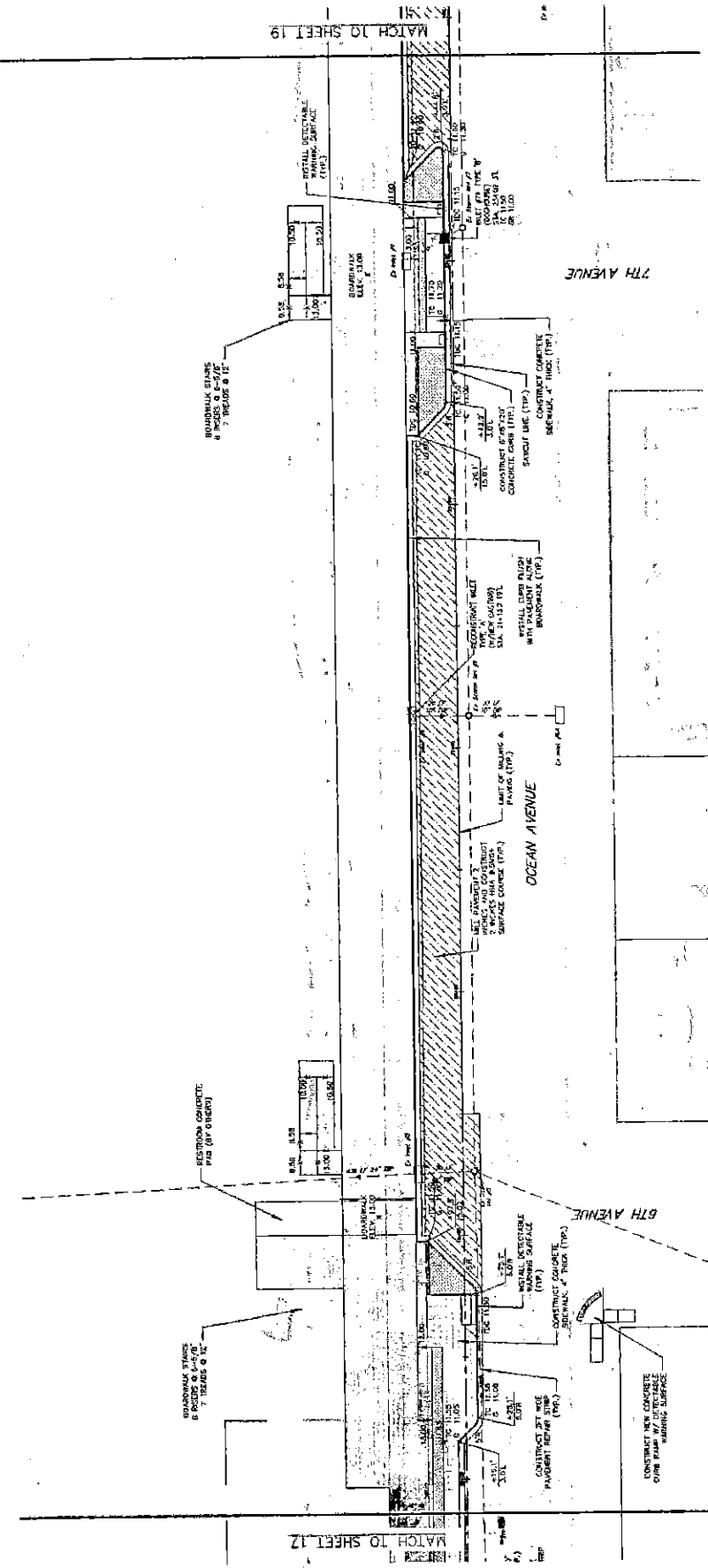
5TH AVENUE

OCEAN AVENUE

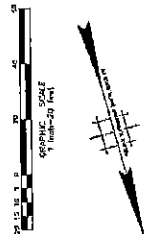
STA. 11+90 TO STA. 17+85



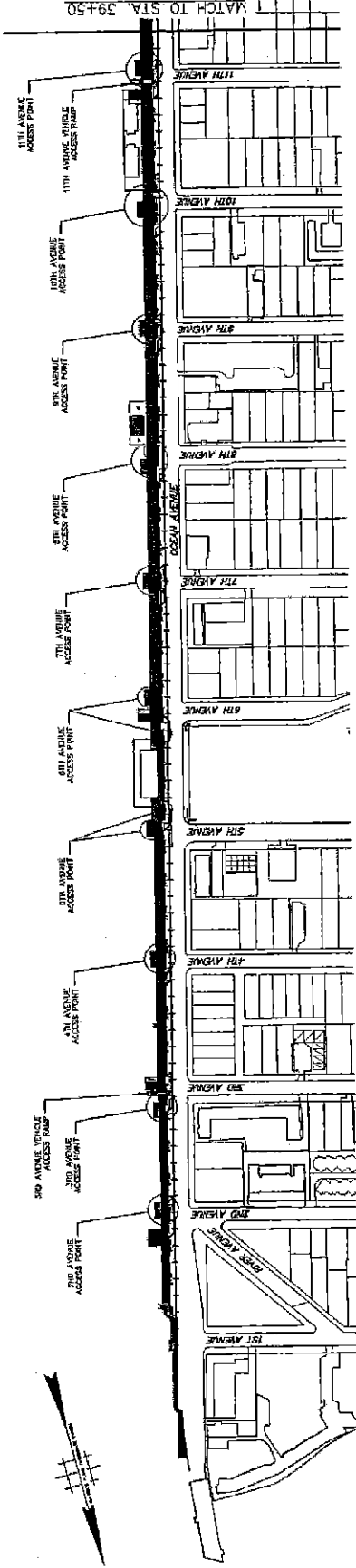
DATE	REVISION	BY	CHKD.
BIRDSALL SERVICES GROUP CONSULTANTS & ENGINEERS PAUL CALABRESE, P.E. REGISTERED PROFESSIONAL ENGINEER LICENSE NO. 12345 STATE OF NEW JERSEY			
CONCRETE AND PAVEMENT PLAN CONCRETE, PAVEMENT & STRIPING IMPROVEMENTS OCEAN AVENUE BOROUGH OF BELMAR			
PROJECT NO. 12345		SHEET NO. 20 OF 21	



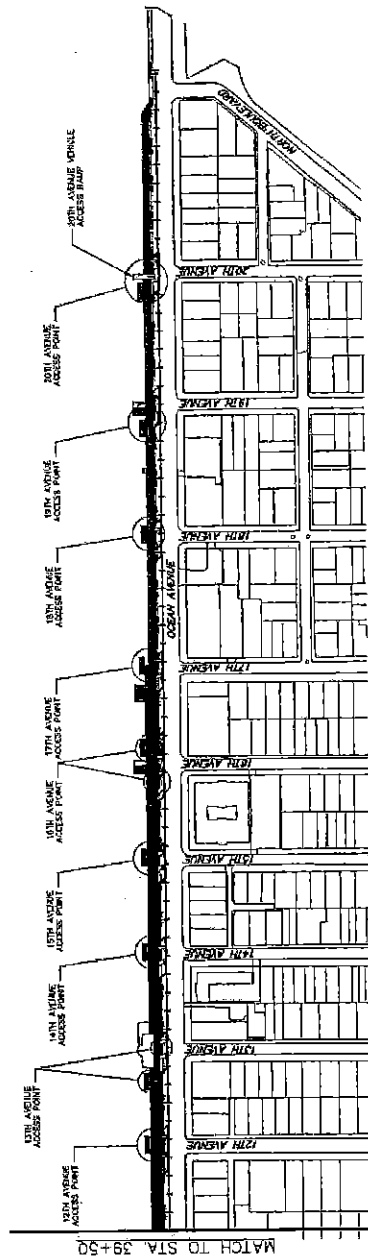
SIA 17+85 TO SIA 23+85



		CONCRETE AND PAVEMENT PLAN CONCRETE, PAVEMENT & STRIPING IMPROVEMENTS OCEAN AVENUE BOROUGH OF BELMAR	
PROJECT NO. 17-85-01 SHEET NO. 21 OF 31		DATE: 11/10/85 DRAWN BY: J. CALABRESSE CHECKED BY: J. CALABRESSE	



STA. 0+00 TO STA. 39+50



STA. 39+50 TO STA. 70+19

EXHIBIT I RAILING PLANS

ACCESS LOCATION PLAN
SCALE: 1" = 100'-0"

1. GENERAL NOTES:
 - a. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
 - b. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
 - c. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
 - d. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
 - e. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
 - f. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
 - g. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
 - h. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
 - i. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
 - j. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
 - k. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
 - l. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
 - m. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
 - n. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
 - o. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
 - p. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
 - q. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
 - r. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
 - s. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
 - t. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
 - u. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
 - v. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
 - w. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
 - x. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
 - y. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
 - z. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

BIRDSELL SERVICES GROUP
INCORPORATED & COMPLETED

NEWMAN MALONEY
INCORPORATED

ARCHITECTS & ENGINEERS

1000 MARKET STREET, SUITE 200
NEWARK, NJ 07102
TEL: 973-261-1000 FAX: 973-261-1001

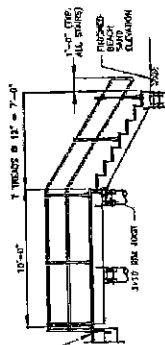
NO.	DATE	REVISION	BY	CHKD	APP'D
1					
2					
3					

ACCESS LOCATION PLAN
RAILING FOR BOARDWALK
STAIRS AND RAMPS
OCEAN AVENUE
BOROUGH OF BELMAR

MUNICIPALITY OF BELMAR, BERKSHIRE COUNTY, NEW JERSEY

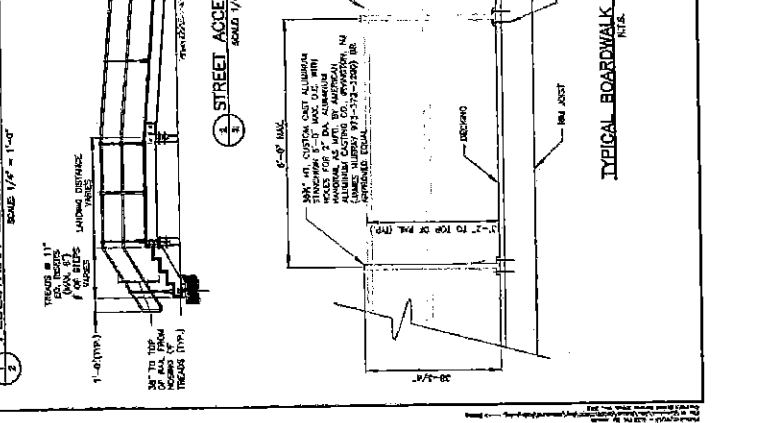
GENERAL NOTES

1. ALL WORK SHALL CONFORM TO THE APPLICABLE REQUIREMENTS OF THE DIVISION OF HIGHWAYS AND THE CITY STREET DESIGN CONSTRUCTION CODE (HANS) AND THE CITY STREET DESIGN CONSTRUCTION CODE (HANS) AND THE CITY STREET DESIGN CONSTRUCTION CODE (HANS).
2. PROVIDE DEPTH AND SPACING AS REQUIRED TO SUPPORT LOADS TO BE APPLIED TO THE STRUCTURE IN THE SUBMITTAL DURING CONSTRUCTION.
3. CONTRACTOR SHALL FIELD MEASURE AND VERIFY ALL EXISTING CONDITIONS AND CONDITIONS TO BE SHOWN ON THE DRAWING. ALL DIMENSIONS AND CONDITIONS OF EXISTENCES SHALL BE SUBJECT TO THE APPROVAL OF THE ENGINEER.
4. THE FINISHES AND MATERIALS TO BE USED IN CONSTRUCTION SHALL BE AS SPECIFIED IN THE DRAWING.
5. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF RAILING APPROXIMATELY 2 WEEKS PRIOR TO THE START OF CONSTRUCTION.
6. FOR STEEL RAMP AND LANDING CONDITIONS FOR DIVISION APPROVAL.
7. CONTRACTOR SHALL PROVIDE PROTECTION FOR DIVISION APPROVAL.

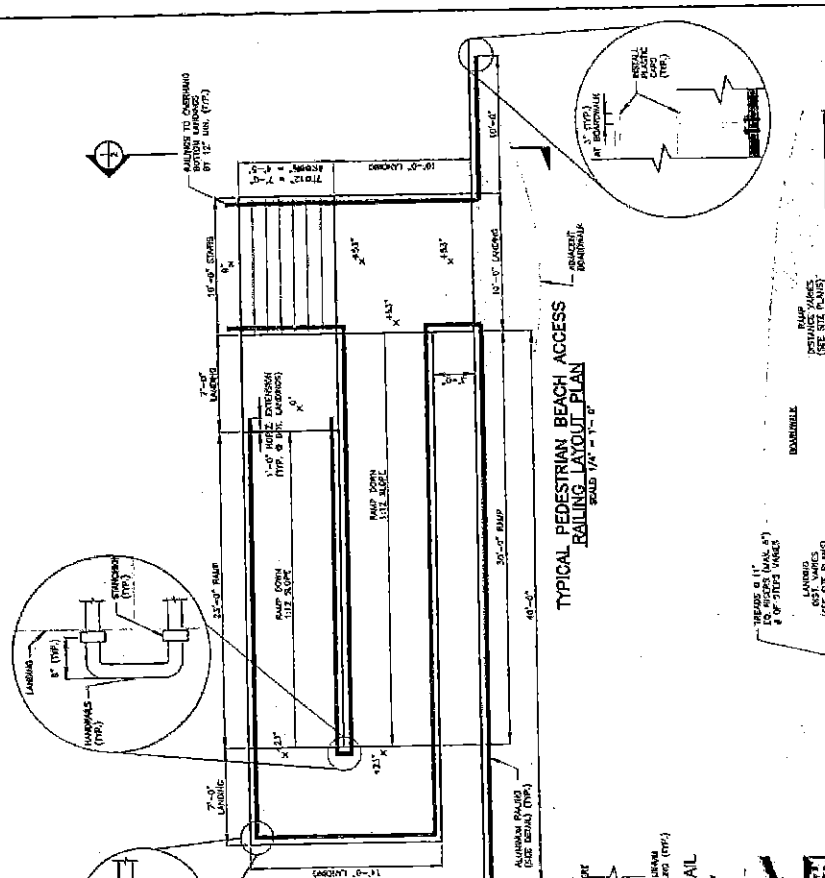


PEDESTRIAN BEACH ACCESS ELEVATION
SCALE 1/4" = 1'-0"

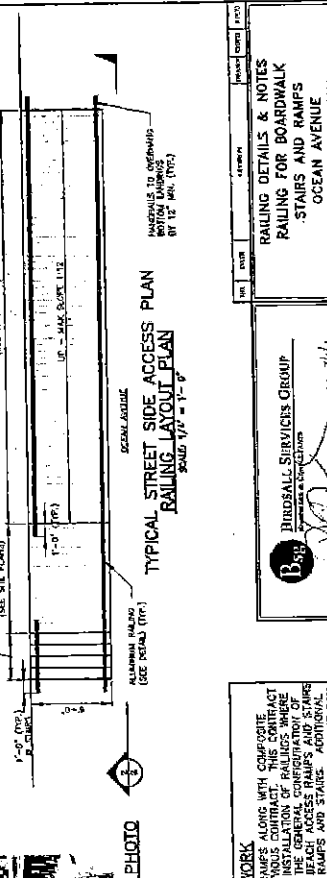
- ALUMINUM RAILING**
1. ALL ALUMINUM MATERIALS AND FABRICATION SHALL COMPLY WITH THE ALUMINUM ASSOCIATION, INC. (AA) DESIGNATION 6061-T6.
 2. ALUMINUM MATERIALS SHALL BE TYPE 6061-T6 ALUM. IN ACCORDANCE WITH ASTM B221 AND B221M, AS APPLICABLE.
 3. FINISH OF ALUMINUM SHALL COMPLY WITH THE REQUIREMENTS OF ALUMINUM ANODIZING STANDARDS. ELECTROLYTICALLY TREATED ALUMINUM SHALL BE DESIGNATED TYPE 6061-T6 (AA).
 4. HANDBAILS SHALL BE 1 1/2" O.D. ALUMINUM FINISH AND SHALL BE COMPATIBLE WITH THE ALUMINUM RAILING.
 5. TOP AND BOTTOM RAILS SHALL BE 1 1/2" O.D. ALUMINUM FINISH AND SHALL BE COMPATIBLE WITH THE ALUMINUM RAILING.
 6. HANDBAILS SHALL BE DESIGNED TO WITHSTAND THE LOADS AS SPECIFIED IN THE DIVISION HANS. THE HANDBAILS SHALL BE INSTALLED IN THE CENTER LINE OF THE RAMP AND LANDING.
 7. THE HANDBAILS SHALL BE 1 1/2" O.D. ALUMINUM FINISH AND SHALL BE COMPATIBLE WITH THE ALUMINUM RAILING.
 8. THE HANDBAILS SHALL BE 1 1/2" O.D. ALUMINUM FINISH AND SHALL BE COMPATIBLE WITH THE ALUMINUM RAILING.
 9. THE HANDBAILS SHALL BE 1 1/2" O.D. ALUMINUM FINISH AND SHALL BE COMPATIBLE WITH THE ALUMINUM RAILING.
 10. THE HANDBAILS SHALL BE 1 1/2" O.D. ALUMINUM FINISH AND SHALL BE COMPATIBLE WITH THE ALUMINUM RAILING.
 11. THE HANDBAILS SHALL BE 1 1/2" O.D. ALUMINUM FINISH AND SHALL BE COMPATIBLE WITH THE ALUMINUM RAILING.
 12. THE HANDBAILS SHALL BE 1 1/2" O.D. ALUMINUM FINISH AND SHALL BE COMPATIBLE WITH THE ALUMINUM RAILING.



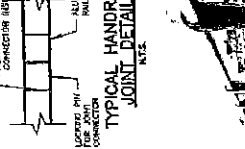
TYPICAL BOARDWALK RAILING DETAIL
SCALE 1/4" = 1'-0"



TYPICAL PEDESTRIAN BEACH ACCESS RAILING LAYOUT PLAN
SCALE 1/4" = 1'-0"



TYPICAL STREET SIDE ACCESS RAILING LAYOUT PLAN
SCALE 1/4" = 1'-0"



TYPICAL HANDRAIL JOINT DETAIL



SCOPE OF WORK
TYPICAL BOARDWALK RAILING SHALL BE INSTALLED ALONG WITH COMPOSITE DECKING HAVE BEEN INSTALLED UNDER PREVIOUS CONTRACT. THE CONTRACT INCLUDES THE FABRICATION, DELIVERY AND INSTALLATION OF THE GENERAL CONFIGURATION OF THE RAILING AT THE TYPICAL PEDESTRIAN BEACH ACCESS RAMP AND STAIR AND AT THE TYPICAL STREET SIDE ACCESS RAMP AND STAIR. THE CONTRACTOR SHALL FIELD MEASURE ALL LOCATIONS FOR LAYOUTS AND DIMENSIONS.

DATE	DESCRIPTION	BY	CHKD
10/25/20	ISSUE FOR PERMIT	AM	AM
10/25/20	ISSUE FOR CONSTRUCTION	AM	AM
10/25/20	ISSUE FOR RECORD	AM	AM
10/25/20	ISSUE FOR AS-BUILT	AM	AM
10/25/20	ISSUE FOR FINAL	AM	AM

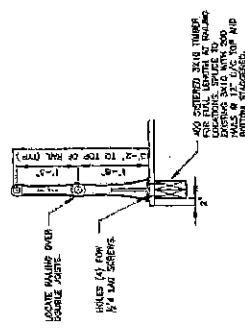
RAILING DETAILS & NOTES

RAILING FOR BOARDWALK
STAIRS AND RAMPS
OCEAN AVENUE
BOROUGH OF BELMAR

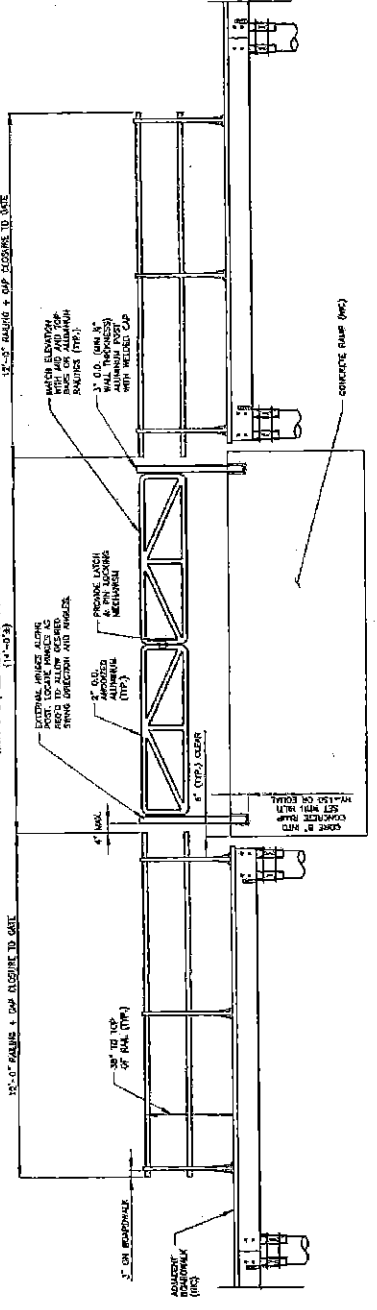
BIRDSCALE SERVICES GROUP
INCORPORATED
1111 BELMONT AVENUE, SUITE 200
BELMAR, NJ 07718
PHONE: 908.880.1234
FAX: 908.880.1235
WWW.BIRDSCALE.COM

RICHARD C. MALONEY, P.E.
REGISTERED PROFESSIONAL ENGINEER
NO. 10885
NJ STATE BOARD OF PROFESSIONAL ENGINEERING

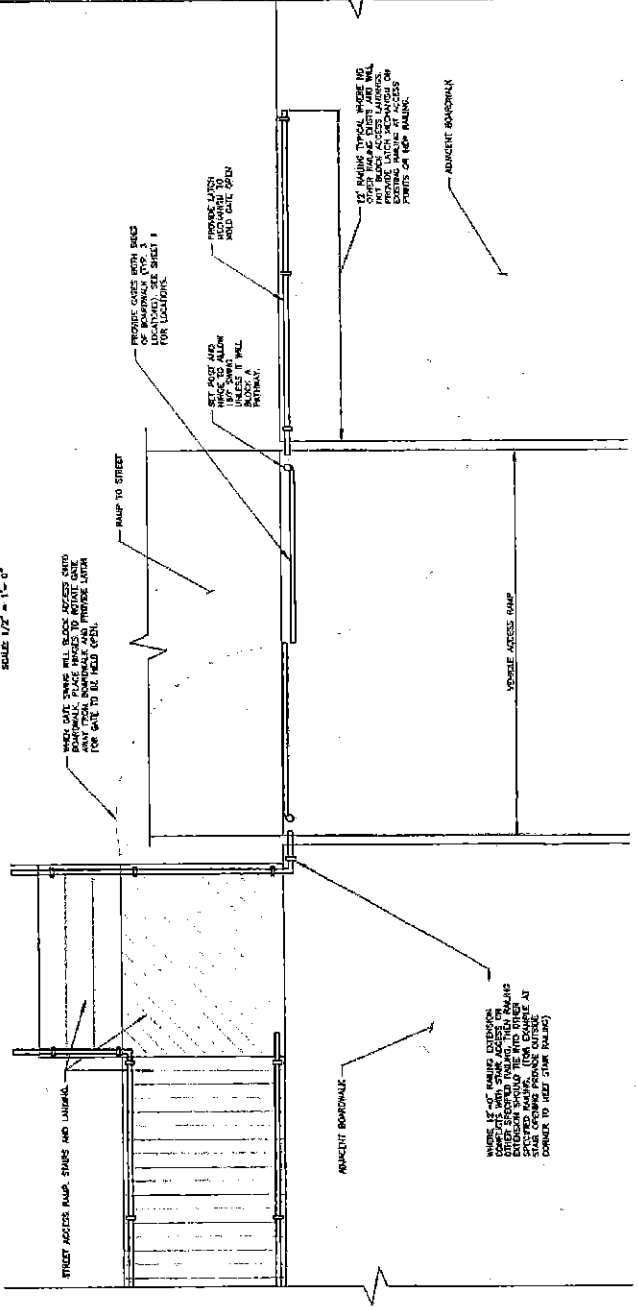
- GENERAL NOTES**
1. ALL WORK SHALL CONFORM TO THE APPLICABLE REQUIREMENTS OF THE SPECIFICATIONS OF BELMONT AND THE NEW JERSEY UNIFORM CONSTRUCTION CODE (NJACC), SEC. 2008.
 2. PROVIDE TEMPORARY BRACING AS REQUIRED TO SUPPORT GATES TO PREVENT COLLAPSE DURING CONSTRUCTION AND TO MAINTAIN STRUCTURAL INTEGRITY OF SUBJECT WORK.
 3. CONTRACTOR SHALL FIELD MEASURE AND VERIFY ALL EXISTING CONDITIONS AND CONDITIONS SHALL BE INDICATED ON DRAWINGS TO THE ATTENTION OF THE OWNER FOR RECONSTRUCTION. TO THE EXTENT OF THE CONTRACTOR'S KNOWLEDGE, CONTRACTOR SHALL VERIFY THE EXISTENCE, FABRICATION OR LOCATION OF ALL UTILITIES UNDER THE STRUCTURE WORK.
 4. ALL MATERIALS USED FOR GATE SHALL CONFORM TO STANDARDS OF ALABAMA RAILROADS.
 5. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF GATE FOR APPROVAL.



**TYPICAL BOARDWALK RAILING
DETAIL AT VEHICLE ACCESS RAMP**



**TYPICAL GATE ELEVATION AT VEHICLE
ACCESS RAMP BEACH SIDE**



**TYPICAL GATE PLAN AT VEHICLE
ACCESS RAMP STREET SIDE**

SCOPE OF WORK
SCOPE OF WORK FOR THE INSTALLATION, DELIVERY AND INSTALLATION OF SWING GATES ON BOTH SIDES OF BOARDWALK AT VEHICLE ACCESS RAMPS (TOTAL 3 LOCATIONS/12 GATES), AND RAILING EXTENSIONS OFF OF EACH CORNER.

NOTE:
FOR PLANS AND ELEVATION VIEW JUST SHOWN. DIMENSIONS AND ELEVATIONS SHOWN ILLUSTRATED ON THIS SHEET.

BIRDSEAL SERVICES GROUP
CORPORATION
1000 ROUTE 100
MANTOLoking, NJ 07048
TEL: 908.526.1100
FAX: 908.526.1101
WWW.BIRDSEALSERVICES.COM

RICHARD C. MALONE, P.E.
REGISTERED PROFESSIONAL ENGINEER
STATE OF NEW JERSEY
NO. 24026

DATE	NO.	DESCRIPTION
08/11/2010	1	ISSUED FOR PERMIT
08/11/2010	2	ISSUED FOR PERMIT
08/11/2010	3	ISSUED FOR PERMIT
08/11/2010	4	ISSUED FOR PERMIT
08/11/2010	5	ISSUED FOR PERMIT
08/11/2010	6	ISSUED FOR PERMIT
08/11/2010	7	ISSUED FOR PERMIT
08/11/2010	8	ISSUED FOR PERMIT
08/11/2010	9	ISSUED FOR PERMIT
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08/11/2010	93	ISSUED FOR PERMIT
08/11/2010	94	ISSUED FOR PERMIT
08/11/2010	95	ISSUED FOR PERMIT
08/11/2010	96	ISSUED FOR PERMIT
08/11/2010	97	ISSUED FOR PERMIT
08/11/2010	98	ISSUED FOR PERMIT
08/11/2010	99	ISSUED FOR PERMIT
08/11/2010	100	ISSUED FOR PERMIT



A PLAYCORE Company

C/O MRC
PO Box 106
Spring Lake, NJ 07762
Ph: 732-458-1111
Fx: 732-974-0226
Em: MRC@GAMETIME.COM
Web: www.mrcrec.com

EXHIBIT J
LIST OF PLAYGROUND
EQUIPMENT

QUOTE
#95974

02/22/2013

NJ Belmar Borough of Various Beach Playgrounds - 2.22.13

Belmar Borough of
Attn: Michael Campbell
PO Box A
13th & Railroad Avenue
Belmar, NJ 07719
Phone: 732-681-3700 Ext. 211

Project #: P70007
Ship To Zip: 07719

Quantity	Part #	Description
4	RDU	Game Time - GameTime 2-Bay PrimeTime Swings <i>- With (2) Belt Seat Packages, (1) 5-12 Zero-G Chair Package, and (1) 2-5 Zero-G Chair Package</i>
1	LIFEGUARD	Game Time - Lifeguard Playground Area
2	RDU	Game Time - GameTime Custom PrimeTime 5-12 Unit <i>- As per attached layout</i>
2	CUSTOM	PlayWorx GFRC - Single Turtle Climber
2	CUSTOM	PlayWorx GFRC - Jet Ski Climber <i>- 3' Wide x 6' Long x 3' Tall</i>
1	PIRATE	Game Time - Pirate Playground Area
2	RDU	Game Time - GameTime Custom PowerScope 5-12 Unit <i>- As per attached layout</i>
2	030TSA	PlayWorx GFRC - Pirate Ship
2	CUSTOM	PlayWorx GFRC - Dolphin Climber <i>- 2' Wide x 4' Long x 2' Tall</i>
1	INSTALL	Game Time - Donated Installation by a Certified GameTime Installer <i>- With the purchase of the above listed equipment</i>
1	THERMOPLAS TIC	Game Time - Thermoplastic Deck Coating <i>- Decks only available in BROWN</i>
1	SS HW	Game Time - All Stainless Steel Hardware





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QUOTE
#95974

02/22/2013

NJ Belmar Borough of Various Beach Playgrounds - 2.22.13

NJ State Contract #A81411

Total Amount: \$324,000.00

Shipping to Belmar, NJ.

Donated Installation by a Certified GameTime Installer is included with the purchase of the above listed equipment.

No safety surfacing is included.

BG/jm

CHOOSE YOUR COLOR SCHEME:

IT IS VERY IMPORTANT THAT YOU CHOOSE A COLOR SCHEME FOR YOUR MODULAR PLAYGROUND UNIT AT TIME OF ORDER. PLEASE SELECT FROM ONE OF THE MANY "PLAY PALETTES" LISTED IN THE BACK OF THE GAMETIME CATALOG OR ON OUR WEBSITE: www.gametime.com. INDICATE YOUR SELECTION BELOW.

GAMETIME PLAY PALETTE: _____

NOTE: COLOR SELECTION FOR ALL OTHER EQUIPMENT SHOULD BE ENTERED IN THE SPACE PROVIDED UNDER THAT SPECIFIC ITEM.





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QUOTE
#95974

02/22/2013

NJ Belmar Borough of Various Beach Playgrounds - 2.22.13

This quotation is subject to policies in the current GameTime Park and Playground Catalog and the following terms and conditions. Our quotation is based on shipment of all items at one time to a single destination, unless otherwise noted, and changes are subject to price adjustment. Purchases in excess of \$1,000.00 to be supported by your written purchase order made out to GAMETIME, c/o Marturano Recreation. Kindly issue one order for the equipment and a separate order for surfacing and/or equipment installation services. Customer is responsible for any required permits and fees pertaining to such permits.

PRICING / PAYMENT: This quote is valid for 30 days from date of quotation. Payment terms: Purchase order made payable to GameTime. Net 30 days for tax supported governmental agencies. A 1.5% per month finance charge will be imposed on all past due accounts. Equipment shall be invoiced separately from other services and shall be payable in advance of those services and project completion. Retainage not accepted.

TAXES: State and local taxes, if applicable, will be added at time of invoicing unless a tax exempt certificate is provided at the time of order entry.

FREIGHT/SHIPMENT: Freight charges: Prepaid and added at time of invoicing. Shipment: order will ship within 30-45 days after GameTime's receipt and acceptance of your PURCHASE ORDER, signed quotation and color selections.

RECEIPT OF GOODS: Customer is responsible for unloading and uncrating equipment from truck. Customer shall receive, unload and inspect goods upon arrival, noting any discrepancies on the Delivery Receipt prior to written acceptance of the shipment.

INSTALLATION: Installation by a Gametime Certified Installer is to be donated with the purchase of the above listed equipment. The attached certified installer form must be completed to assure the customer understands the terms of installation listed briefly below:

Installation assumes a flat, dirt surface with no grading preparation required. Gametime's installer is not responsible for any site preparation, and/or grading.

Customer is responsible for calling 888-DIG-SAFE a minimum of 72 hours before installation is to begin.

Direct access is required for large construction vehicles. All work is to be done in one move. All excavated material is to remain on site.

Customer is responsible for accepting delivery, storage of equipment and transporting equipment from storage to the site, if storage is other than installation site. Customer will be responsible for unloading the truck and disposal of packaging.

The installation of the safety surfacing and/or border timbers is not included in the above price.

Unforeseen subsurface obstructions may incur additional charges.

EXCLUSIONS: unless specifically included, this quotation excludes all site work and landscaping; removal of existing equipment; acceptance of equipment and off-loading; storage of goods prior to installation; safety surfacing; borders and drainage provisions.

TO ORDER: Please complete the acceptance portion of this quotation and provide color selections, purchase order and other key information requested. Acceptance of this proposal indicates your agreement to the terms and conditions stated herein.





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Em: MRC@GAMETIME.COM
Web: www.mrcrec.com

QUOTE
#95974

02/22/2013

NJ Belmar Borough of Various Beach Playgrounds - 2.22.13

Acceptance of quotation:

Accepted By (printed): _____

P.O. No: _____

Signature: _____

Date: _____

Title: _____

Phone: _____

Email: _____

Facsimile: _____

Purchase Amount: **\$324,000.00**

Order Information:

Bill To: _____

Ship To: _____

Contact: _____

Contact: _____

Address: _____

Tel: _____

Address: _____

Address: _____

City, State, Zip: _____

City, State, Zip: _____

SALES TAX EXEMPTION CERTIFICATE # _____
(PLEASE PROVIDE A COPY OF CERTIFICATE)



BID SUMMARY SHEET FOR:
 BOROUGH OF BELMAR
 BOARDWALK RECONSTRUCTION PROJECT

Description	UNIT	Qty	Epic Management, Inc.			J.P. Reid General Contractor			Benjamin R. Harvey Co., Inc.			Network Construction Company, Inc.		
			Unit Price	Item Total	Bid Total	Unit Price	Item Total	Bid Total	Unit Price	Item Total	Bid Total	Unit Price	Item Total	Bid Total
C1-1 BOARDWALK RECONSTRUCTION WITH COMPOSITE DECKING	SF	215,000	\$11.50	\$2,472,500.00	\$2,472,500.00	\$13.00	\$2,795,000.00	\$2,795,000.00	\$18.28	\$3,915,460.00	\$3,915,460.00	\$17.00	\$3,655,000.00	\$3,655,000.00
C1-2 STREET SIDE ACCESS RECONSTRUCTION WITH COMPOSITE DECKING	SF	3759	\$45.00	\$169,725.00	\$169,725.00	\$79.00	\$296,250.00	\$296,250.00	\$14.94	\$55,850.00	\$55,850.00	\$57.95	\$217,312.50	\$217,312.50
C1-3 BEACH ACCESS RECONSTRUCTION WITH COMPOSITE DECKING	SF	6900	\$34.00	\$234,400.00	\$234,400.00	\$50.00	\$345,000.00	\$345,000.00	\$15.22	\$104,452.00	\$104,452.00	\$59.95	\$409,670.00	\$409,670.00
C1-4 EARLY COMPLETION INCENTIVE ALLOW	ALLOW	1	\$100,000.00	\$100,000.00	\$100,000.00	\$100,000.00	\$100,000.00	\$100,000.00	\$100,000.00	\$100,000.00	\$100,000.00	\$100,000.00	\$100,000.00	\$100,000.00
TOTAL BASIC ITEMS CONTRACT VALUE														
ALTERNATE ITEMS CONTRACT VALUE														
TOTAL CONTRACT VALUE														
C2-1 BOARDWALK RECONSTRUCTION WITH COMPOSITE DECKING	SF	215,000	\$24.00	\$5,160,000.00	\$5,160,000.00	\$28.50	\$6,127,500.00	\$6,127,500.00	\$32.84	\$7,050,600.00	\$7,050,600.00	\$31.00	\$6,655,000.00	\$6,655,000.00
C2-2 STREETSIDE ACCESS RECONSTRUCTION WITH COMPOSITE DECKING	SF	3759	\$43.00	\$161,727.00	\$161,727.00	\$93.00	\$348,750.00	\$348,750.00	\$29.95	\$112,562.50	\$112,562.50	\$73.00	\$273,750.00	\$273,750.00
C2-3 BEACH ACCESS RECONSTRUCTION WITH COMPOSITE DECKING	SF	6900	\$45.00	\$309,450.00	\$309,450.00	\$77.00	\$531,300.00	\$531,300.00	\$30.00	\$207,000.00	\$207,000.00	\$79.00	\$545,400.00	\$545,400.00
C2-4 EARLY COMPLETION INCENTIVE ALLOW	ALLOW	1	\$100,000.00	\$100,000.00	\$100,000.00	\$100,000.00	\$100,000.00	\$100,000.00	\$100,000.00	\$100,000.00	\$100,000.00	\$100,000.00	\$100,000.00	\$100,000.00
TOTAL BASIC ITEMS CONTRACT VALUE														
ALTERNATE ITEMS CONTRACT VALUE														
TOTAL CONTRACT VALUE														
C2-A1 BOARDWALK RECONSTRUCTION WITH COMPOSITE DECKING IN LIEU OF COMPOSITE DECKING	SF	215,000	\$9.40	\$2,021,000.00	\$2,021,000.00	\$4.05	\$870,750.00	\$870,750.00	\$4.14	\$890,100.00	\$890,100.00	\$17.00	\$3,655,000.00	\$3,655,000.00
C2-A2 STREET SIDE ACCESS RECONSTRUCTION WITH COMPOSITE DECKING IN LIEU OF COMPOSITE DECKING	SF	3759	\$9.40	\$35,322.60	\$35,322.60	\$5.00	\$18,750.00	\$18,750.00	\$4.14	\$15,525.00	\$15,525.00	\$17.90	\$67,250.00	\$67,250.00
C2-A3 BEACH ACCESS RECONSTRUCTION WITH COMPOSITE DECKING IN LIEU OF COMPOSITE DECKING	SF	6900	\$9.40	\$64,860.00	\$64,860.00	\$4.75	\$32,812.50	\$32,812.50	\$4.14	\$28,500.00	\$28,500.00	\$21.40	\$147,240.00	\$147,240.00
TOTAL BASIC ITEMS CONTRACT VALUE														
ALTERNATE ITEMS CONTRACT VALUE														
TOTAL CONTRACT VALUE														
C2-B1 SEA WALL	LF	7,750	\$510.00	\$3,952,500.00	\$3,952,500.00	\$442.00	\$3,425,500.00	\$3,425,500.00	\$508.17	\$3,900,312.50	\$3,900,312.50	\$774.00	\$5,955,000.00	\$5,955,000.00
C2-B2 DECORATIVE SEA WALL CAP	LF	7,750	\$74.00	\$573,500.00	\$573,500.00	\$115.00	\$891,250.00	\$891,250.00	\$88.00	\$682,000.00	\$682,000.00	\$100.00	\$775,000.00	\$775,000.00
TOTAL CONTRACT VALUE														

BID SUMMARY SHEET FOR:
 BOROUGH OF BELMAR
 BOARDWALK RECONSTRUCTION PROJECT

Description	UNIT	Qty	EJC Management, Inc.		L.H. Reed General Contractor		Benjamin R. Harvey Co., Inc.		Newtek Construction Company, Inc.	
			Unit Price	Item Total	Unit Price	Item Total	Unit Price	Item Total	Unit Price	Item Total
BID GUARANTEE				X				X		X
CERTIFICATE OF SURETY				X				X		X
STATEMENT OF OWNERSHIP				X				X		X
LIST OF SUBCONTRACTORS				X				X		X
ACKNOWLEDGEMENT OF RECEIPT OF CHANGES TO CONTRACT DOCUMENTS				X				X		X
CONTRACTOR'S SUBCONTRACTORS LIST				X				X		X
NON-COLLUSION AFFIDAVIT				X				X		X
CONTRACTOR'S EXPERIENCE STATEMENT				X				X		X
BUS STATE IN FIGURES AND PERTINENT PARTS OF CONTRACT DOCUMENTS COMPLETED				X				X		X
ALL FORMS SIGNED, INITIALED, CERTIFIED, AND NOTARIZED				X				X		X
GENERAL CONTRACTOR'S MDOOL				X				X		X
CONTRACTOR REGISTRATION CERTIFICATE				X				X		X

BID SUMMARY SHEET FOR:
BOROUGH OF BELMAR
BOARDWALK RECONSTRUCTION PROJECT

Description	UNIT	Qty	Neshaminy Constructors, Inc.			Dobco, Inc.			Tadon Development Corp.			J. Fletcher Conway & Son, Inc.			Stimpson & Brown, Inc.		
			Unit Price	Item Total	Bid Total	Unit Price	Item Total	Bid Total	Unit Price	Item Total	Bid Total	Unit Price	Item Total	Bid Total	Unit Price	Item Total	Bid Total
C1-1 BOARDWALK RECONSTRUCTION WITH COMPOSITE DECKING	SF	215,000	\$18.26	\$3,922,300.00	\$3,922,300.00	\$4,105,500.00	\$4,105,500.00	\$3,300,000.00	\$709,500,000.00	\$3,300,000.00	\$20.00	\$4,300,000.00	\$4,300,000.00	\$22.75	\$4,891,250.00	\$4,891,250.00	
C1-2 STREET SIDE ACCESS RECONSTRUCTION WITH COMPOSITE DECKING	SF	3750	\$55.00	\$209,250.00	\$209,250.00	\$71,425.00	\$71,425.00	\$44,800.00	\$168,000.00	\$44,800.00	\$44.00	\$165,000.00	\$165,000.00	\$32.00	\$195,000.00	\$195,000.00	
C1-3 BEACH ACCESS RECONSTRUCTION WITH COMPOSITE DECKING	SF	6600	\$31.00	\$206,100.00	\$206,100.00	\$126,060.00	\$126,060.00	\$59,000.00	\$399,400.00	\$59,000.00	\$34.00	\$224,400.00	\$224,400.00	\$24.00	\$158,400.00	\$158,400.00	
C1-4 EARLY COMPLETION INCENTIVE	ALLOW	1	\$100,000.00	\$100,000.00	\$100,000.00	\$100,000.00	\$100,000.00	\$100,000.00	\$100,000.00	\$100,000.00	\$100,000.00	\$100,000.00	\$100,000.00	\$100,000.00	\$100,000.00	\$100,000.00	
TOTAL PASSENGER CONTRACT (CONSTRUCTION ONLY)				\$4,437,650.00	\$4,437,650.00	\$4,437,650.00	\$4,437,650.00	\$4,437,650.00	\$4,437,650.00	\$4,437,650.00	\$4,437,650.00	\$4,437,650.00	\$4,437,650.00	\$4,437,650.00	\$4,437,650.00	\$4,437,650.00	
ALTERNATE CONTRACT (LIMITED MATERIALS AND CONSTRUCTION)																	
C1-B1 SEAWALK RECONSTRUCTION WITH COMPOSITE DECKING	LF	7,750	\$57.00	\$441,750.00	\$441,750.00	\$246,750.00	\$246,750.00	\$110,000.00	\$856,750.00	\$110,000.00	\$87.00	\$674,250.00	\$674,250.00	\$58.00	\$449,500.00	\$449,500.00	
C1-B2 DECORATIVE SEA WALL CAP	LF	7,750	\$33.00	\$256,650.00	\$256,650.00	\$256,750.00	\$256,750.00	\$256,750.00	\$256,750.00	\$256,750.00	\$33.00	\$256,650.00	\$256,650.00	\$33.00	\$256,650.00	\$256,650.00	
TOTAL SEAWALK CONTRACT (LIMITED MATERIALS AND CONSTRUCTION)				\$698,400.00	\$698,400.00	\$503,500.00	\$503,500.00	\$503,500.00	\$1,113,500.00	\$503,500.00	\$120.00	\$930,900.00	\$930,900.00	\$91.00	\$699,050.00	\$699,050.00	
BASIC PAY ITEMS CONTRACT (LIMITED MATERIALS AND CONSTRUCTION)																	
C2-1 BOARDWALK RECONSTRUCTION WITH COMPOSITE DECKING	SF	215,000	\$32.50	\$6,987,500.00	\$6,987,500.00	\$7,438,000.00	\$7,438,000.00	\$7,305,000.00	\$1,689,825,000.00	\$7,305,000.00	\$34.60	\$7,438,000.00	\$7,438,000.00	\$38.00	\$8,170,000.00	\$8,170,000.00	
C2-2 STREET SIDE ACCESS RECONSTRUCTION WITH COMPOSITE DECKING	SF	3750	\$72.50	\$271,875.00	\$271,875.00	\$126,750.00	\$126,750.00	\$174,000.00	\$592,500.00	\$174,000.00	\$90.00	\$338,250.00	\$338,250.00	\$58.00	\$217,500.00	\$217,500.00	
C2-3 BEACH ACCESS RECONSTRUCTION WITH COMPOSITE DECKING	SF	6600	\$43.50	\$287,100.00	\$287,100.00	\$228,360.00	\$228,360.00	\$236,000.00	\$1,887,600.00	\$236,000.00	\$50.00	\$330,000.00	\$330,000.00	\$42.00	\$277,200.00	\$277,200.00	
C2-4 EARLY COMPLETION INCENTIVE	ALLOW	1	\$100,000.00	\$100,000.00	\$100,000.00	\$100,000.00	\$100,000.00	\$100,000.00	\$100,000.00	\$100,000.00	\$100,000.00	\$100,000.00	\$100,000.00	\$100,000.00	\$100,000.00	\$100,000.00	
TOTAL BASIC PAY ITEMS CONTRACT (LIMITED MATERIALS AND CONSTRUCTION)				\$7,666,475.00	\$7,666,475.00	\$7,793,110.00	\$7,793,110.00	\$7,793,110.00	\$1,790,925,000.00	\$7,793,110.00	\$139.60	\$8,167,360.00	\$8,167,360.00	\$100.00	\$8,577,000.00	\$8,577,000.00	
ALTERNATE CONTRACT (LIMITED MATERIALS AND CONSTRUCTION)																	
C2-A1 BOARDWALK RECONSTRUCTION WITH PE DECKING IN LIEU OF COMPOSITE DECKING	SF	215,000	\$5.20	\$1,118,000.00	\$1,118,000.00	\$665,500.00	\$665,500.00	\$712,000.00	\$1,154,155,000.00	\$712,000.00	\$15.00	\$3,225,000.00	\$3,225,000.00	\$2.50	\$537,500.00	\$537,500.00	
C2-A2 STREET SIDE ACCESS RECONSTRUCTION WITH PE DECKING IN LIEU OF COMPOSITE DECKING	SF	3750	\$13.50	\$50,625.00	\$50,625.00	\$11,605.00	\$11,605.00	\$12,500.00	\$46,675,000.00	\$12,500.00	\$15.00	\$56,250.00	\$56,250.00	\$2.40	\$9,000.00	\$9,000.00	
C2-A3 BEACH ACCESS RECONSTRUCTION WITH PE DECKING IN LIEU OF COMPOSITE DECKING	SF	6,600	\$7.50	\$49,500.00	\$49,500.00	\$20,460.00	\$20,460.00	\$22,000.00	\$145,200,000.00	\$22,000.00	\$15.00	\$99,000.00	\$99,000.00	\$2.00	\$13,200.00	\$13,200.00	
TOTAL ALTERNATE CONTRACT (LIMITED MATERIALS AND CONSTRUCTION)				\$1,617,125.00	\$1,617,125.00	\$701,565.00	\$701,565.00	\$746,500.00	\$1,345,925,000.00	\$746,500.00	\$30.00	\$3,380,250.00	\$3,380,250.00	\$4.90	\$569,700.00	\$569,700.00	
ALTERNATE CONTRACT (LIMITED MATERIALS AND CONSTRUCTION)																	
C2-B1 SEA WALL	LF	7,750	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	
C2-B2 DECORATIVE SEA WALL CAP	LF	7,750	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	
TOTAL ALTERNATE CONTRACT (LIMITED MATERIALS AND CONSTRUCTION)				\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	
TOTAL CONTRACT (LIMITED MATERIALS AND CONSTRUCTION)				\$6,987,650.00	\$6,987,650.00	\$7,793,110.00	\$7,793,110.00	\$7,793,110.00	\$1,790,925,000.00	\$7,793,110.00	\$139.60	\$8,167,360.00	\$8,167,360.00	\$100.00	\$8,577,000.00	\$8,577,000.00	

JOB NUMBER: 00023-17000
 ENGINEER: PAUL T. CALABRESE, P.E.

BID SUMMARY SHEET FOR:
 BOROUGH OF BELMAR
 BOARDWALK RECONSTRUCTION PROJECT

BID DATE: DECEMBER 11, 2012

Description	UNIT	Qty	EIC Associates, Inc.			A.P. Construction, Inc.			George Hanna Construction Co., Inc.			Rational Construction/Sanzai			Fennia Construction Co., Inc.		
			Unit Price	Item Total	Bid Total	Unit Price	Item Total	Bid Total	Unit Price	Item Total	Bid Total	Unit Price	Item Total	Bid Total	Unit Price	Item Total	Bid Total
BID GUARANTEE																	
CERTIFICATE OF SURETY																	
STATEMENT OF OWNERSHIP																	
LIST OF SUBCONTRACTORS																	
ACKNOWLEDGEMENT OF RECEIPT OF CHANGES TO CONTRACT DOCUMENTS																	
CONTRACTOR/SUBCONTRACTORS BUSINESS REGISTRATION																	
NON-COLLUSION AFFIDAVIT																	
CONTRACTOR'S EXPERIENCE STATEMENT																	
BIDS STATED IN FIGURES AND IN WRITING																	
UNIT PRICES SUBMITTED AND EXTENSIONS PROPERLY COMPLETED																	
ALL FORMS SIGNED, INITIALED, CERTIFIED, AND NOTARIZED BY CONTRACTORS AND SUBCONTRACTORS																	
CONTRACTOR REGISTRATION CERTIFICATE																	

BID SUMMARY SHEET FOR:
 BOROUGH OF BELMAR
 BOARDWALK RECONSTRUCTION PROJECT

Description	UNIT	QTY	The Elphinstone Group, Inc.			Northwest Remco Construction, Inc.			Travcom Construction Company, Inc.			APS Contracting, Inc.					
			Unit Price	Item Total	Bid Total	Unit Price	Item Total	Bid Total	Unit Price	Item Total	Bid Total	Unit Price	Item Total	Bid Total			
NOT AN ALTERNATE CONTRACTOR WITH A SUBCONTRACTOR'S LIST OF SUBCONTRACTORS (SEE SECTION 01050) (SEE SECTION 01050)																	
BID GUARANTEE				X			X			X			X				
CERTIFICATE OF OWNERSHIP				N/A			X			X			X				
STATEMENT OF OWNERSHIP				X			X			X			X				
LIST OF SUBCONTRACTORS				X			X			X			X				
ACKNOWLEDGEMENT OF RECEIPT OF CHANGES TO CONTRACT DOCUMENTS				X			X			X			X				
CONTRACTORS/SUBCONTRACTORS BUSINESS REGISTRATION				No			X			X			X				
NON-COLLUSION AFFIDAVIT				X			X			X			X				
CONTRACTOR'S EXPERIENCE STATEMENT				X			X			X			X				
BIDS STATED IN FIGURES AND IN WRITING				X			X			X			X				
UNIT PRICES SUBMITTED AND EXTENSIONS PROPERLY COMPUTED				No			X			X			X				
ALL FORMS SIGNED, INITIALED, CERTIFIED, AND NOTARIZED				X			X			X			X				
GENERAL CONTRACTORS NIBOL CONTRACTOR REGISTRATION CERTIFICATE				X			X			X			X				

BID SUMMARY SHEET FOR:
 BOROUGH OF BELMAR
 BOARDWALK RECONSTRUCTION PROJECT

Description	UNIT	Qty	J.E. Hannon, Inc. WA Bid Construction			Midstate Construction, LLC			Rancor, Inc.			JEV Construction Group, Inc.		
			Unit Price	Item Total	Err.	Unit Price	Item Total	Err.	Unit Price	Item Total	Err.	Unit Price	Item Total	Err.
BASE MATERIALS CONTRACT (CONSTRUCTION)														
C1-1 BOARDWALK RECONSTRUCTION WITH COMPOSITE DECKING	SF	215,000	\$97.00	\$7,485,000.00	\$7,265,000.00	\$48.75	\$10,481,250.00	\$10,481,250.00	\$52.60	\$11,308,000.00	\$11,308,000.00	\$53.70	\$11,545,500.00	
C1-2 STREET SIDE ACCESS RECONSTRUCTION WITH COMPOSITE DECKING	SF	3750	\$120.00	\$450,000.00	\$450,000.00	\$48.75	\$182,612.50	\$182,612.50	\$108.00	\$405,000.00	\$405,000.00	\$50.00	\$187,500.00	
C1-3 BEACH ACCESS RECONSTRUCTION WITH COMPOSITE DECKING	SF	6000	\$84.00	\$504,000.00	\$435,600.00	\$48.75	\$292,500.00	\$292,500.00	\$34.85	\$209,100.00	\$209,100.00	\$74.50	\$445,500.00	
C1-4 EARLY COMPLETION INCENTIVE	ALLOW	1	\$100,000.00	\$100,000.00	\$100,000.00	\$100,000.00	\$100,000.00	\$100,000.00	\$100,000.00	\$100,000.00	\$100,000.00	\$100,000.00	\$100,000.00	
TOTAL BASE MATERIALS CONTRACT (CONSTRUCTION)				\$8,143,000.00	\$8,250,600.00	\$1,175,162.50	\$11,959,362.50	\$11,959,362.50	\$1,175,162.50	\$12,134,525.00	\$12,134,525.00	\$1,275,162.50	\$13,410,000.00	
ALTERNATE CONTRACT (UNIT)														
BASE MATERIALS CONTRACT (CONSTRUCTION)														
BASE MATERIALS CONTRACT (CONSTRUCTION)														
C1-81 SEA WALL	LF	7,750	\$665.00	\$5,153,750.00	\$5,700,750.00	\$1,000.00	\$7,750,000.00	\$7,750,000.00	\$1,175.10	\$9,135,025.00	\$9,135,025.00	\$1,500.00	\$11,635,000.00	
C1-82 DECORATIVE SEA WALL CAP	LF	7,750	\$189.00	\$1,473,750.00	\$1,464,750.00	\$20.00	\$155,000.00	\$155,000.00	\$197.42	\$1,520,045.00	\$1,520,045.00	\$300.00	\$2,325,000.00	
TOTAL BASE MATERIALS CONTRACT (CONSTRUCTION)				\$6,627,500.00	\$7,165,500.00	\$1,020.00	\$7,905,000.00	\$7,905,000.00	\$1,372.52	\$10,655,070.00	\$10,655,070.00	\$1,800.00	\$13,960,000.00	
ALTERNATE CONTRACT (UNIT)														
BASE MATERIALS CONTRACT (CONSTRUCTION)														
BASE MATERIALS CONTRACT (CONSTRUCTION)														
C2-1 BOARDWALK RECONSTRUCTION WITH COMPOSITE DECKING	SF	215,000	\$55.50	\$11,932,500.00	\$11,632,500.00	\$65.75	\$14,136,250.00	\$14,136,250.00	\$58.84	\$14,370,600.00	\$14,370,600.00	\$71.40	\$15,351,000.00	
C2-2 STREET SIDE ACCESS RECONSTRUCTION WITH COMPOSITE DECKING	SF	3750	\$185.00	\$691,875.00	\$618,750.00	\$65.75	\$246,562.50	\$246,562.50	\$72.00	\$270,000.00	\$270,000.00	\$86.00	\$327,500.00	
C2-3 BEACH ACCESS RECONSTRUCTION WITH COMPOSITE DECKING	SF	6000	\$125.00	\$750,000.00	\$625,000.00	\$65.75	\$394,500.00	\$394,500.00	\$72.00	\$432,000.00	\$432,000.00	\$91.60	\$549,600.00	
C2-4 EARLY COMPLETION INCENTIVE	ALLOW	1	\$100,000.00	\$100,000.00	\$100,000.00	\$100,000.00	\$100,000.00	\$100,000.00	\$100,000.00	\$100,000.00	\$100,000.00	\$100,000.00	\$100,000.00	
TOTAL BASE MATERIALS CONTRACT (CONSTRUCTION)				\$12,878,375.00	\$12,656,250.00	\$1,235,750.00	\$15,066,312.50	\$15,066,312.50	\$1,235,750.00	\$15,777,900.00	\$15,777,900.00	\$1,476,600.00	\$17,257,100.00	
ALTERNATE CONTRACT (UNIT)														
BASE MATERIALS CONTRACT (CONSTRUCTION)														
BASE MATERIALS CONTRACT (CONSTRUCTION)														
C2-41 BOARDWALK RECONSTRUCTION WITH IPE DECKING IN LIEU OF COMPOSITE DECKING	SF	215,000	\$58.50	\$12,466,500.00	\$2,042,500.00	\$4.50	\$967,500.00	\$967,500.00	No Bid	\$0.00	\$0.00	\$15.00	\$3,225,000.00	
C2-42 STREET SIDE ACCESS RECONSTRUCTION WITH IPE DECKING IN LIEU OF COMPOSITE DECKING	SF	3,750	\$20.00	\$75,000.00	\$75,000.00	\$4.50	\$16,875.00	\$16,875.00	No Bid	\$0.00	\$0.00	\$15.00	\$56,250.00	
C2-43 BEACH ACCESS RECONSTRUCTION WITH IPE DECKING IN LIEU OF COMPOSITE DECKING	SF	6,000	\$20.00	\$120,000.00	\$120,000.00	\$4.50	\$27,000.00	\$27,000.00	No Bid	\$0.00	\$0.00	\$15.00	\$89,000.00	
TOTAL BASE MATERIALS CONTRACT (CONSTRUCTION)				\$12,661,500.00	\$2,242,500.00	\$11.50	\$1,130,375.00	\$1,130,375.00		\$0.00	\$0.00	\$30.00	\$3,370,250.00	
ALTERNATE CONTRACT (UNIT)														
BASE MATERIALS CONTRACT (CONSTRUCTION)														
BASE MATERIALS CONTRACT (CONSTRUCTION)														
C2-81 SEA WALL	LF	7,750	\$765.00	\$5,928,750.00	\$6,781,250.00	\$1,000.00	\$7,750,000.00	\$7,750,000.00	\$1,175.10	\$9,135,025.00	\$9,135,025.00	\$1,500.00	\$11,635,000.00	
C2-82 DECORATIVE SEA WALL CAP	LF	7,750	\$202.00	\$1,565,500.00	\$1,785,000.00	\$20.00	\$155,000.00	\$155,000.00	\$197.42	\$1,520,045.00	\$1,520,045.00	\$300.00	\$2,325,000.00	
TOTAL BASE MATERIALS CONTRACT (CONSTRUCTION)				\$7,494,250.00	\$8,566,250.00	\$1,120.00	\$7,905,000.00	\$7,905,000.00	\$1,372.52	\$10,655,070.00	\$10,655,070.00	\$1,800.00	\$13,960,000.00	

BID SUMMARY SHEET FOR:
 BOROUGH OF BELMAR
 BOARDWALK RECONSTRUCTION PROJECT

BID DATE: DECEMBER 11, 2012

Description	UNIT	Qty	J.E. Hammon, Inc. TIA Bid Construction			Midstate Construction, LLC			Renov, Inc.			EW Construction Group, Inc.		
			Unit Price	Item Total	Bid Total	Unit Price	Item Total	Bid Total	Unit Price	Item Total	Bid Total	Unit Price	Item Total	Bid Total
BID GUARANTEE				X			X			X			X	
CERTIFICATE OF SURETY				X			X			X			X	
STATEMENT OF OWNERSHIP				X			X			X			X	
LIST OF SUBCONTRACTORS				X			X			X			X	
ACKNOWLEDGMENT OF RECEIPT OF CHANGES TO CONTRACT DOCUMENTS				X			X			X			X	
CONTRACTORS/SUBCONTRACTORS BUSINESS REGISTRATION				X			X			X			X	
NON-COLLUSION AFFIDAVIT				X			X			X			X	
CONTRACTORS EXPERIENCE STATEMENT				X			X			X			X	
BIDS STATED IN FIGURES AND IN WRITING				X			X			X			X	
UNIT PRICES SUBMITTED AND EXTENSIONS PROPERLY COMPUTED				X			X			X			X	
ALL FORMS SIGNED, INITIALED, CERTIFIED, AND NOTARIZED				X			X			X			X	
CONTRACTORS ALSO				X			X			X			X	
CONTRACTOR REGISTRATION CERTIFICATE				X			X			X			X	

EXHIBIT L
COUNCIL RESOLUTIONS
FOR BOARDWALK CONTRACTS
(14 pages)

RESOLUTION NO. 2012-266

RESOLUTION AWARDING CONTRACT FOR CONSTRUCTION OF THE BELMAR BOARDWALK

WHEREAS, on December 11, 2012 the Borough of Belmar received bids for the construction of the boardwalk;

WHEREAS, "Certification As To Availability Of Funds" is annexed hereto.

NOW, THEREFORE, BE IT RESOLVED by the Borough Council on this 12th day of December 2012, that:

1. Contract is awarded to Epic Group Inc., 136 Eleventh Street, Piscataway, NJ as follows:

Contract 2 - \$5,793,250
Contract 2 Alternate A - \$766,190
Contract 2 Alternate B - \$4,526,000

CERTIFICATION AS TO AVAILABILITY OF FUNDS

I herewith certify that there are adequate funds available pending the end of the estoppels period for bond ordinance 2012-15 for the proposed contract noted above in the amount of \$20,000,000.

Robbin D. Kirk
Chief Financial Officer

Mayor Doherty offered the above resolution and moved its adoption.

Seconded by Council member Deicke and adopted by the following vote:

Councilmembers:	AYES	NAYS	ABSTAIN	ABSENT
Mrs. Deicke	X			
Mr. Magovern	X			
Mr. Bean	X			
Mrs. Nicolay	X			
Mayor Doherty	X			

Adopted: December 12, 2012

RESOLUTION NO. 2013-81

RESOLUTION PURSUANT TO N.J.A.C. 5:30-14.4 ET SEQ.
CHANGE ORDER NUMBER ONE FOR THE BELMAR BOARDWALK
RECONSTRUCTION PROJECT

WHEREAS, the Borough Administrator has certified Change Order Number One to amend project costs by agreement with the contractor for the boardwalk reconstruction project; and

WHEREAS, the Council of the Borough of Belmar has also received from the Mayor a request for this Change Order to amend the cost of the project as shown by the documentation attached to said request and having investigated the same and being assured that the change is necessary and that it will actually be carried out and the total net change for Change Order Number One is a net increase of \$1,401,651.55.

NOW, THEREFORE, BE IT RESOLVED on this 13th day of March, 2013 that the Mayor and Borough Clerk be and are hereby authorized to enter into written amendatory contract covering the change requested in the aforesaid project.

REQUEST PURSUANT TO 5:30-14.4 ET SEQ.

I am the Mayor of the Borough of Belmar and the changes are required to amend the bid specifications for the project as listed. No changes were authorized by me or the Council prior to this resolution for noted items and the change order requested by the Contractor and the Administrator is necessitated for the reasons given by them in the annexed documents and are permissible under Regulations of the Local Finance Board.

Matthew J. Doherty
Mayor

CERTIFICATION

I hereby certify that adequate appropriations and funds are available in accordance with N.J.A.C.50:30-14.5 for the aforesaid request for change order in Bond Ordinance 2012-15 which has an available balance in the amount of \$5,917,102.06

Robbin D. Kirk
Chief Financial Officer

Mayor Doherty offered the above resolution and moved its adoption.

Seconded by Council member Deicke and adopted by the following vote on roll call:

Council members:	AYES	NAYS	ABSENT	ABSTAIN
Mrs. Deicke	X			
Mr. Magovern	X			
Mr. Bean				X
Mrs. Nicolay	X			
Mayor Doherty	X			

Adopted: March 13, 2013

Playground Equipment

RESOLUTION NO. 2013-79

**RESOLUTION AUTHORIZING STATE CONTRACT PURCHASE OF
PARK & PLAYGROUND EQUIPMENT**

*This price
includes
installation
(donated)*

WHEREAS, the Borough Council of the Borough of Belmar wishes to purchase Beach Playground Equipment from an authorized vendor under the State of New Jersey Cooperative Purchasing Program I-NJCP; and

WHEREAS, the purchase of goods and services by local contracting units is authorized by the Local Contracts Law, 40A:11-12; and

WHEREAS, Game Time C/O Marturano Recreation Company, Inc. is under the State Contract No. A81411 for the 2013 year; and

WHEREAS, the Director of Public Works recommends the utilization of this contract on the grounds that they can provide the quality of product at the most reasonable price; and

WHEREAS, the cost for the purchase of various beach playground equipment is \$324,000; and

WHEREAS, the Chief Financial Officer has certified the availability of funds for this contract are available through the Bond Ordinance 2012-15.

NOW, THEREFORE, BE IT RESOLVED by the Mayor and Borough Council that the purchase of Park & Playground Equipment ordered under State Contract No. A81411 be and is hereby ratified.

CERTIFICATION AS TO AVAILABILITY OF FUNDS

I herewith certify that, as of March 13, 2013 that there is adequate funds available for the proposed contract noted above in Bond Ordinance 2012-15 which has an available balance in the amount of \$5,917,102.06

Robbin D. Kirk
Chief Financial Officer

Mayor Doherty offered the above resolution and moved its adoption.

Seconded by Council member Nicolay and adopted by the following vote on roll call:

Council members:	AYES	NAYS	ABSTAIN	ABSENT
Mrs. Deicke	X			
Mr. Magovern			X	
Mrs. Nicolay	X			
Mr. Bean	X			
Mayor Doherty	X			

Adopted: March 13, 2013

BW-Base Contract C.O. No 1 S-3 installs the conduit.
This contract installs balance of electrical.
See next two res's for procurements using
state contract.

RESOLUTION NO. 2013-93

**RESOLUTION AWARDING CONTRACT FOR ELECTRICAL WORK FOR THE
BOARDWALK**

WHEREAS, on March 13, 2013 the Borough of Belmar received bids for electrical work for the boardwalk;

WHEREAS, "Certification As To Availability Of Funds" is annexed hereto.

NOW, THEREFORE, BE IT RESOLVED by the Borough Council on this 27th day of March 2013, that:

Contract is awarded to Pat Maggio & Son Electric, Inc., 3520 Highway 33, Suite G, Neptune, NJ 07753 in the amount of \$225,000.00.

CERTIFICATION AS TO AVAILABILITY OF FUNDS

I herewith certify that there are adequate funds available for the contract noted above per Bond Ordinance 2012-15 which has an available balance in the amount of \$2,658,289.14.

Robbin D. Kirk
Chief Financial Officer

Council member Deicke offered the above resolution and moved its adoption.

Seconded by Council member Magovern and adopted by the following vote:

Councilmembers:	AYES	NAYS	ABSTAIN	ABSENT
Mrs. Deicke	X			
Mr. Magovern	X			
Mr. Bean	X			
Mrs. Nicolay	X			
Mayor Doherty				X

Adopted: March 27, 2013

*BW - Electrical
Distribution Equipment
procurement only*

RESOLUTION NO. 2013-113

**RESOLUTION AUTHORIZING STATE CONTRACT PURCHASE OF
ELECTRICAL DISTRIBUTION EQUIPMENT FOR BELMAR BOARDWALK**

WHEREAS, the Borough Council of the Borough of Belmar wishes to purchase electrical distribution equipment for the boardwalk from an authorized vendor under the State of New Jersey Cooperative Purchasing Program I-NJCP; and

WHEREAS, the purchase of goods and services by local contracting units is authorized by the Local Contracts Law, 40A:11-12; and

WHEREAS, Pemberton Electrical Supply Co. LLC is under the State Contract No. A75182 for the 2013 year; and

WHEREAS, the Borough's Engineer recommends the utilization of this contract on the grounds that they can provide the quality of product at the most reasonable price; and

WHEREAS, the cost for the purchase of the electrical distribution equipment is \$52,691.92; and

WHEREAS, the Chief Financial Officer has certified the availability of funds for this contract are available through

NOW, THEREFORE, BE IT RESOLVED by the Mayor and Borough Council that the purchase of electrical distribution equipment be ordered under State Contract No. A75182 and is hereby ratified.

CERTIFICATION AS TO AVAILABILITY OF FUNDS

I herewith certify that there is adequate funds available for the proposed contract noted above in Bond Ordinance 2012-15.

Robbin D. Kirk
Chief Financial Officer

Mayor Doherty offered the above resolution and moved its adoption.

Seconded by Council member Deicke and adopted by the following vote:

Councilmembers:	AYES	NAYS	ABSTAIN	ABSENT
Mrs. Deicke	X			
Mr. Magovern	X			
Mr. Bean				X
Mrs. Nicolay	X			
Mayor Doherty	X			

Adopted: April 17, 2013

BW Lighting
- material procurement
only

RESOLUTION NO. 2013-80

RESOLUTION AUTHORIZING STATE CONTRACT PURCHASE BOARDWALK LIGHTING

WHEREAS, the Borough Council of the Borough of Belmar wishes to purchase lighting for the Belmar boardwalk from an authorized vendor under the State of New Jersey Cooperative Purchasing Program I-NJCP; and

WHEREAS, the purchase of goods and services by local contracting units is authorized by the Local Contracts Law, 40A:11-12; and

WHEREAS, Pemberton Electrical Supply Company is under the State Contract No. A75182 for the 2013 year; and

WHEREAS, the Borough Engineer recommends the utilization of this contract on the grounds that they can provide the quality of product at the most reasonable price; and

WHEREAS, the cost for the purchase of lighting for the boardwalk is \$368,473.60; and

WHEREAS, the Chief Financial Officer has certified the availability of funds for this contract are available through the Bond Ordinance 2012-15.

NOW, THEREFORE, BE IT RESOLVED by the Mayor and Borough Council that the purchase of boardwalk lighting ordered under State Contract No. A75182be and is hereby ratified.

CERTIFICATION AS TO AVAILABILITY OF FUNDS

I herewith certify that, as of March 13, 2013 that there is adequate funds available for the proposed contract noted above in Bond Ordinance 2012-15 which has an available balance in the amount of \$5,917,102.06

Robbin D. Kirk
Chief Financial Officer

Mayor Doherty offered the above resolution and moved its adoption.

Seconded by Council member Nicolay and adopted by the following vote on roll call:

Council members:	AYES	NAYS	ABSTAIN	ABSENT
Mrs. Deicke	X			
Mr. Magovern	X			
Mrs. Nicolay	X			
Mr. Bean	X			
Mayor Doherty	X			

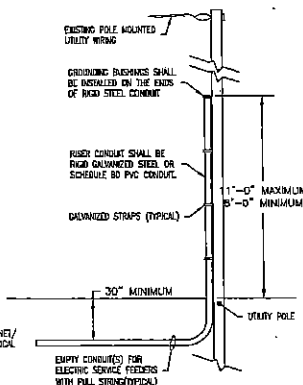
Adopted: March 13, 2013

PLAN SYMBOL	SYMBOL LIST	NOTE REF
	DEVICES	
	ELECTRICAL WIRING	
	JUNCTION BOX WITH CONNECTION TO EQUIPMENT	
	PANELBOARD - POWER	

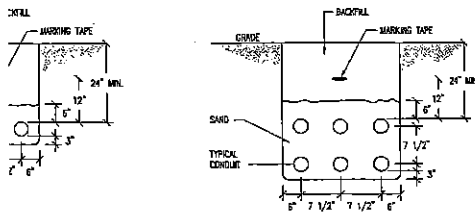
PLAN SYMBOL	WIRING DEVICE LEGEND	NOTE REF
	DESCRIPTION	
	GROUND FAULT CIRCUIT INTERRUPTER (GFCI) DUPLEX RECEPTACLE IN WEATHERPROOF ENCLOSURE WITH COVER, 20 AMPERE, 125 VOLT, 2 POLE, 3 WIRE, NEMA 5-20R	

ELECTRICAL NOTES

1. DRAWINGS ARE DIAGRAMMATIC AND DEFINE THE INTENT OF THE WORK. LOCATIONS OF EQUIPMENT, FIXTURES, DEVICES, PANELBOARDS, DUCTS, PIPING, OFFENSES, PARTITIONS, OPERATIONS, ETC. ARE APPROXIMATE AND ARE SUBJECT TO MODIFICATIONS CAUSED BY FIELD CONDITIONS OF THE OWNER. COORDINATE ALL WORK WITH THE WORK OF OTHER TRADES. DETERMINE EXISTING LOCATIONS FROM APPROVED SHOP DRAWINGS. MAJOR MODIFICATIONS OF FIXTURES REQUIRED TO EFFECT SUCH COORDINATION SHALL BE MADE AT NO COST TO THE OWNER.
2. DRAWINGS AND SPECIFICATIONS ARE INTENDED TO BE COMPLEMENTARY TO EACH OTHER. WHERE DISCREPANCIES OR CONFLICTS OCCUR, THE CONTRACTOR SHALL INCLUDE THE JOB'S COSTLY INTERIM BY HIS PROPOSAL, UNLESS CLARIFIED BY BULLETIN OR MEMORANDUM ACKNOWLEDGED PRIOR TO RECEIPT OF BIDS.
3. DRAWINGS SHALL NOT BE SCALED. DRAWINGS ARE ESSENTIALLY DIAGRAMMATIC AND INDICATE THE GENERAL ARRANGEMENT OF SYSTEMS AND REARRANGEMENTS OF THE WORK. ALTHOUGH SIZE AND LOCATION OF EQUIPMENT IS DRAWN TO SCALE WHEREVER POSSIBLE, CONTRACTOR SHALL MAKE USE OF ALL DATA IN ALL OF THE CONTRACT DOCUMENTS AND VERIFY INFORMATION AT THE PROJECT SITE.
4. EXISTING PROJECT CONDITIONS INDICATED ARE BASED ON FIELD OBSERVATION, EXISTING DESIGN / CONSTRUCTION DOCUMENTS AND EXISTING RECORD DOCUMENTS AND ARE INTENDED TO INDICATE THE SCOPE OF THE WORK AFFECTED BY THIS PROJECT.
5. VERIFY THAT FIELD MEASUREMENTS AND DIMENSIONING ARRANGEMENTS ARE AS INDICATED.
6. PRIOR TO BEGINNING VISIT THE PROJECT SITE TO DETERMINE THE CONDITIONS UNDER WHICH THE WORK IS TO BE DONE.
7. PREPARE ALL LABOR, MATERIALS AND EQUIPMENT REQUIRED FOR THE INSTALLATION, RELOCATION AND CONNECTION OF THE ELECTRICAL WORK.
8. ALL MATERIAL SHALL BE UNDERWRITERS' LABORATORIES LISTED FOR ITS APPLICATION WHERE SUCH LISTING IS APPLICABLE.
9. ALL EQUIPMENT SHALL BE AS INDICATED OR AS APPROVED BY THE ENGINEER.
10. SUBMIT SHOP DRAWINGS, PRODUCT DATA SHEETS AND WIRING DIAGRAMS FOR ALL ELECTRICAL CONSTRUCTION MATERIALS, DEVICES, EQUIPMENT, APPLIANCES AND SYSTEMS.
11. SUBMIT IN QUANTITY TO ALLOW DISTRIBUTION TO OWNER (2), ENGINEER (1), PRIME CONTRACTORS (1 EACH), AND SUBCONTRACTORS OWN USE AS REQUIRED.
12. UNLESS SPECIFICALLY INDICATED OR REQUESTED OTHERWISE, BIDD ALL PRODUCT DATA SHEETS TOGETHER PROPERLY INDEXED AND IDENTIFIED AND WITH ALL PERMITS AND NECESSARY MATERIALS, ETC. INDICATED OR INDICATED LONG SHEETS OR BIDDING SYSTEMS RELYING ON PAPER CLIPS OR STAP ON SPINES WILL BE DISCARDED AND THE REMAINING RETURNED TO THE CONTRACTOR.
13. OBTAIN SHOP DRAWINGS AND WIRING DIAGRAMS FROM OWNER AND OTHER CONTRACTORS FOR THE PROPER INSTALLATION OF RELATED ELECTRICAL WORK AND, UNLESS OTHERWISE NOTED, WIRE ALL CONTROL DEVICES, VALVES, THERMOSTATS, ETC. REQUIRED FOR THE PROPER OPERATION OF THEIR SYSTEMS.
14. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CURRENT EDITION IN EFFECT OF THE NATIONAL ELECTRICAL CODE (NEC), NATIONAL ELECTRICAL SAFETY CODE (NESC), NATIONAL ELECTRICIAN'S HANDBOOK, PHILADELPHIA FIRE CODE, UNIFORM CONSTRUCTION CODE (UCC), INTERNATIONAL BUILDING CODE (IBC), ACCESSIBLE & USABLE BUILDINGS & FACILITIES (ICC/ANSI A117.1) AND NATIONAL ELECTRICAL CONTRACTORS ASSOCIATION (NECA) STANDARD OF INSTALLATION.
15. OBTAIN ALL PERMITS REQUIRED, HAVE THE WORK INSPECTED FOR CODE COMPLIANCE AND PAY ALL FEES FOR INSPECTION AND CERTIFICATION.
16. EXACT LOCATION OF EQUIPMENT SHALL BE COORDINATED IN THE FIELD.
17. CROWDING AND BUNDLING SHALL MEET NEC AND EQUIPMENT / SYSTEM MANUFACTURER'S REQUIREMENTS.
18. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF DEBRIS GENERATED BY HIS WORK AND WORKERS AT THE END OF EACH WORKING DAY AND FOR GENERAL GOOD HOUSEKEEPING BY HIS WORKERS. CONTRACTOR SHALL PROVIDE REQUIRED REPLACEMENT CONTAINERS.
19. ALL WIRING SHALL BE COPPER CONDUCTOR WITH 800 VOLTS INSULATION IN BULKHEAD WITH APPROVED FITTINGS UNLESS OTHERWISE INDICATED.
20. SERVICE ENTRANCE CONDUITORS UNDERGROUND IN RACEWAY TYPE THIRN-THIRN 90 DEGREE C. WHERE COVERED WITHIN THE BUILDING OR STRUCTURE, ENCASE RACEWAY IN CONCRETE, MINIMUM 2-INCHES THICK.
21. FEEDERS AND BRANCH CIRCUITS UNDERGROUND IN RACEWAY TYPE THIRN-THIRN 90 DEGREE C.
22. FEEDERS SHALL BE MINIMUM #8 AWG; BRANCH CIRCUIT WIRING MINIMUM #12 AWG; CONTROL WIRING MINIMUM #14 AWG, UNLESS OTHERWISE INDICATED. FEEDER AND BRANCH CIRCUIT WIRING LARGER THAN #10 AWG SHALL BE STRANDED CONDUCTOR, #10 AWG AND SMALLER, SOLID CONDUCTOR OR SOLID CONDUCTOR CONTROL WIRING, STRANDED CONDUCTOR.
23. TAPS AND SPLICES FOR BRANCH CIRCUITS AND FEEDERS CARRIER THAN #10 AWG SHALL BE MADE WITH BURNTY TAP-ON TYPE SPLICE OR APPROVED EQUAL INSULATION PIERCEWIDE CONNECTORS OR BURNTY WELDING, OR APPROVED EQUAL, COMPRESSION SPLICES.
24. TAPS AND SPLICES FOR BRANCH CIRCUITS AND FEEDERS #10 AWG AND SMALLER SHALL BE MADE WITH IDEAL MODELS 410, 411 AND 412 COMP CONNECTORS, OR APPROVED EQUAL, WITH MODELS 415 OR 417 INSULATED CAPS.
25. BRANCH CIRCUIT AND FEEDER TAPS SHALL BE FULL CIRCUIT SIZE UP TO THEIR OVERCURRENT PROTECTION DEVICE.
26. STRANDED WIRING CONDUCTORS SHALL BE MADE UP TO SCREW TERMINALS WITH 24, TAB OR PASSEY LOCKING TORQ CRIMP TERMINALS NOT INSULATED GRIPS.
27. CONTRACTOR SHALL COORDINATE ALL CONSTRUCTION AND INSTALLATION DETAILS AND VERIFY ALL MANUFACTURER'S RECOMMENDATIONS PRIOR TO ANY SUBMISSION FOR CONSIDERATION BY THE ENGINEER OR OWNER.
28. WIRING RUNS INDICATED ON THE DRAWINGS EXPRESS THE INTENT OF CIRCUIT ASSIGNMENT AND SWITCH CONTROL. ACTUAL WIRING METHODS USED SHALL BE SUITABLE FOR THE CONSTRUCTION OF THE BUILDING. REFER TO DRAWINGS OF OTHER TRADES AND EXISTING CONDITIONS. SEE MECHANICAL DRAWINGS FOR DETAILS. NUMBER OF CONDUCTORS IS NOT ALWAYS INDICATED.
29. PROVIDE TWO SETS OF OPERATION AND MAINTENANCE MANUALS, BOUND AND INDEXED, WITH INSTRUCTIONS FOR ALL ELECTRICAL DEVICES, EQUIPMENT, APPLIANCES AND SYSTEMS.
30. PREPARE ONE SET OF RESPONSIBLE CONTRACT DRAWINGS THAT HAVE BEEN REVIEWED AND ANNOTATED TO REFLECT THE AS-BUILT CONDITIONS OF THE PROJECT.
31. DELIVER CERTIFICATES OF ELECTRICAL AND OTHER INSPECTIONS, OR COPIES THEREOF, TO THE OWNER AT THE COMPLETION OF THE PROJECT WITH COPIES TO THE ENGINEER.
32. GUARANTEE ALL WORK IN WRITING TO THE OWNER AGAINST ANY AND ALL DEFECTS IN MATERIAL AND WORKMANSHIP FOR A PERIOD OF ONE YEAR FROM DATE OF ACCEPTANCE AND PERFORM ALL CORRECTIVE WORK AT NO COST TO THE OWNER.



2 UNDERGROUND CONNECTION FROM OVERHEAD MAIN



TYPICAL ELECTRIC DUCT DETAIL - NOT TO SCALE

NOTES:
1. REFER TO SITE PLANS FOR EXACT NUMBER OF CONDUITS.

ELECTRICAL SCOPE OF WORK

THE BOROUGH WILL PROVIDE ELECTRICAL EQUIPMENT CABINETS, UTILITY METER CABINETS, METER PANS, SERVICE DISCONNECT SWITCHES, ELECTRIC PANELS, TRAILER DISCONNECT SWITCHES, LIGHTING CONTROL PANELS, PHOTOCELLS, POLE MOUNTED LIGHTING FIXTURES, ETC UNLESS NOTED OTHERWISE. THE ELECTRICAL CONTRACTOR WILL INSTALL AND MAKE CONNECTIONS TO ALL EQUIPMENT WHETHER PROVIDED BY THE BOROUGH OR HIMSELF. CONDUIT FOR ELECTRIC SERVICE, POLE MOUNTED LIGHTING FIXTURES, RECEPTACLES ON THE BOARDWALK IS INSTALLED UNDER A SEPARATE CONTRACT. ELECTRICAL CONTRACTOR TO PROVIDE ALL WIRING FOR ELECTRIC SERVICE, POLE MOUNTED LIGHTING FIXTURES, RECEPTACLES, TO DISCONNECT SWITCHES, TO TEMPORARY AND PERMANENT TRAILERS, TICKET BOOTHS, ETC. AND MAKE FINAL CONNECTIONS TO ALL EQUIPMENT.

Bsg BIRDSALL SERVICES GROUP
ENGINEERS & CONSULTANTS

Paul Calabrese DATE: 7/28/13
PAUL CALABRESE, P.E.

311 Lakeside View Way
Roseland, NJ 07068
NJ Certificate of Professional No. 28CA29200020

TEL: 201.992.1171
WWW.BIRDSALL.COM

Drawn: []
Checked: []
Reviewed: []

NO.	DATE	REVISION	DRAWN	CHECK	REVIEW

ELECTRICAL SYMBOLS, DETAILS & NOTES
BELMAR BOARDWALK
RECONSTRUCTION PROJECT
OCEAN AVE
BOROUGH OF BELMAR

PREPARED BY: []
DATE: []

PROJECT NO.: 000021000

ET of E7

RESOLUTION NO. 2013-104

**RESOLUTION AMENDING THE AWARD OF CONTRACT FOR UTILITY SERVICES
AND CONCRETE FOR THE BOARDWALK**

WHEREAS, on March 13, 2013 the Borough of Belmar received bids for utility services and concrete for the boardwalk; and

WHEREAS, on March 27, 2013 the Borough of Belmar awarded the contract to Precise Construction, 1016 Highway 33, Freehold, NJ 07728 in the amount of \$363,975.00; and

WHEREAS, after further review of the bid documents Birsall Engineering has advised the Borough that there was a mathematical error in the bid and the total amount of the contract is \$468,375; and

WHEREAS, Precise Construction's bid amount is still the lowest of the bids received and within the Engineer's estimate.

NOW, THEREFORE, BE IT RESOLVED, by the Mayor and Council of the Borough of Belmar that the contract for Precise Construction be amended to \$468,375.

CERTIFICATION AS TO AVAILABILITY OF FUNDS

I herewith certify that there are adequate funds available for the contract noted above per Bond Ordinance 2012-15 which has an available balance in the amount of \$1,763,226.66.

Robbin D. Kirk
Chief Financial Officer

Mayor Doherty offered the above resolution and moved its adoption.

Seconded by Council member Nicolay and adopted by the following vote:

Councilmembers:	AYES	NAYS	ABSTAIN	ABSENT
Mrs. Deicke	X			
Mr. Magovern		X		
Mr. Bean		X		
Mrs. Nicolay	X			
Mayor Doherty	X			

Adopted: April 3, 2013

RESOLUTION NO. 2013-106

RESOLUTION AWARDING CONTRACT FOR CONCRETE, PAVING, AND STRIPING IMPROVEMENTS TO OCEAN AVENUE

WHEREAS, on March 14, 2013 the Borough of Belmar received bids for concrete, paving and striping improvements to Ocean Avenue.;

WHEREAS, "Certification As To Availability Of Funds" is annexed hereto.

NOW, THEREFORE, BE IT RESOLVED by the Borough Council on this 3rd day of April 2013, that:

Contract is awarded to A&A Curbing, 15 Terry Avenue, South River, NJ 0882, in the amount of \$343,208.00.

CERTIFICATION AS TO AVAILABILITY OF FUNDS

I herewith certify that there are adequate funds available for the contract noted above per Bond Ordinance 2012-15 which has an available balance in the amount of \$1,763,226.66.

Robbin D. Kirk
Chief Financial Officer

Mayor Doherty offered the above resolution and moved its adoption.

Seconded by Council member Deicke and adopted by the following vote on roll call:

Council members:	AYES	NAYS	ABSTAIN	ABSENT
Mrs. Deicke	X			
Mr. Magovern	X			
Mrs. Nicolay	X			
Mr. Bean	X			
Mayor Doherty	X			

Adopted: April 3, 2013

RESOLUTION NO. 2013-94

**RESOLUTION AWARDING CONTRACT FOR RAILINGS FOR BOARDWALK
STAIRS AND RAMPS**

WHEREAS, on March 26, 2013 the Borough of Belmar received bids for railings for the boardwalk stairs and ramps.;

WHEREAS, "Certification As To Availability Of Funds" is annexed hereto.

NOW, THEREFORE, BE IT RESOLVED by the Borough Council on this 27th day of March 2013, that:

Contract is awarded to Mastercraft Iron Inc., 1111 Tenth Avenue, Neptune, NJ 07753, in the amount of \$265,845.00.

CERTIFICATION AS TO AVAILABILITY OF FUNDS

I herewith certify that there are adequate funds available for the contract noted above per Bond Ordinance 2012-15 which has an available balance in the amount of \$2,658,289.14.

Robbin D. Kirk
Chief Financial Officer

Council member Deicke offered the above resolution and moved its adoption.

Seconded by Council member Magovern and adopted by the following vote:

Councilmembers:	AYES	NAYS	ABSTAIN	ABSENT
Mrs. Deicke	X			
Mr. Magovern	X			
Mr. Bean	X			
Mrs. Nicolay	X			
Mayor Doherty				X

Adopted: March 27, 2013

RESOLUTION NO. 2013-72

**RESOLUTION AWARDING CONTRACT FOR PURCHASE OF FOUR MOBILE
RESTROOM TRAILERS**

WHEREAS, on February 20, 2013 the Borough of Belmar received bids for the purchase of four mobile restroom trailers;

WHEREAS, "Certification As To Availability Of Funds" is annexed hereto.

NOW, THEREFORE, BE IT RESOLVED by the Borough Council on this 20th day of February 2013, that:

1. Contract is awarded to Williams Scotsman, 1900 Old Cuthbert Road, Cherry Hill, NJ 08034 in the amount of \$503,940.00.

CERTIFICATION AS TO AVAILABILITY OF FUNDS

I herewith certify that there are adequate funds available for the contract noted above per bond ordinance 2012-15 in the amount of \$20,000,000.

Robbin D. Kirk
Chief Financial Officer

Mayor Doherty offered the above resolution and moved its adoption.

Seconded by Council member Deicke and adopted by the following vote on roll call:

Council members:	AYES	NAYS	ABSTAIN	ABSENT
Mrs. Deicke	X			
Mr. Magovern	X			
Mr. Bean	X			
Mrs. Nicolay	X			
Mayor Doherty	X			

Adopted: February 20, 2013

RESOLUTION NO. 2013-73

RESOLUTION AWARDING CONTRACT FOR THE RENTAL OF TWO MOBILE RESTROOMS

WHEREAS, on February 20, 2013 the Borough of Belmar received bids for the rental of two mobile restroom trailers;

WHEREAS, "Certification As To Availability Of Funds" is annexed hereto.

NOW, THEREFORE, BE IT RESOLVED by the Borough Council on this 20th day of February 2013, that:

1. Contract is awarded to Williams Scotsman, 1900 Old Cuthbert Road, Cherry Hill, NJ 08034 for Option 1, two, 36x8 restroom trailers with ADA accessibility, with a five month rental lease for a total amount of \$24,480.86.

CERTIFICATION AS TO AVAILABILITY OF FUNDS

I herewith certify that there are adequate funds available for the contract noted above per bond ordinance 2012-15 in the amount of \$20,000,000.

Robbin D. Kirk
Chief Financial Officer

Mayor Doherty offered the above resolution and moved its adoption.

Seconded by Council member Deicke and adopted by the following vote on roll call:

Council members:	AYES	NAYS	ABSTAIN	ABSENT
Mrs. Deicke	X			
Mr. Magovern	X			
Mr. Bean	X			
Mrs. Nicolay	X			
Mayor Doherty	X			

Adopted: February 20, 2013

RESOLUTION NO. 2013-90

**RESOLUTION AWARDING CONTRACT FOR THE RENTAL OF FIVE
KITCHEN/FOOD CONCESSION TRAILERS**

WHEREAS, on March 6, 2013 the Borough of Belmar received bids for the rental of five kitchen/food concession trailers;

WHEREAS, "Certification As To Availability Of Funds" is annexed hereto.

NOW, THEREFORE, BE IT RESOLVED by the Borough Council on this 13th day of March 2013, that:

Contract is awarded to US Mobile Kitchens, PO Box 266, Finksburg, MD 21048 as follows:

5 Month Rentals

- 3 – Basic Kitchen/Food Trailers (Option1) for a total of \$131,250
- 1 – Frying/Grilling Kitchen/Food Trailer (Option 2) for a total of \$43,750
- 1 – Ice Cream Sales Kitchen/Food Trailer (Option 4) for a total of \$43,750

CERTIFICATION AS TO AVAILABILITY OF FUNDS

I herewith certify that there are adequate funds available for the contract noted above per Bond Ordinance 2012-15 which has an available balance in the amount of \$5,917,102.06.

Robbin D. Kirk
Chief Financial Officer

Mayor Doherty offered the above resolution and moved its adoption.

Seconded by Council member Magovern and adopted by the following vote:

Councilmembers:	AYES	NAYS	ABSTAIN	ABSENT
Mrs. Deicke	X			
Mr. Magovern	X			
Mr. Bean		X		
Mrs. Nicolay	X			
Mayor Doherty	X			

Adopted: March 18, 2013

RESOLUTION NO. 2013-74

RESOLUTION AWARDING CONTRACT FOR THE RENTAL OF FOUR OFFICE TRAILERS

WHEREAS, on February 20, 2013 the Borough of Belmar received bids for the rental of two office trailers;

WHEREAS, "Certification As To Availability Of Funds" is annexed hereto.

NOW, THEREFORE, BE IT RESOLVED by the Borough Council on this 20th day of February 2013, that:

1. Contract is awarded to Williams Scotsman, 1900 Old Cuthbert Road, Cherry Hill, NJ 08034 as follows:

Rental of three 16x8 office trailers (option 1) with a five month lease for a total amount of \$9,885.00

Rental of one 32x10 office trailer (option 3) with a five month lease for a total amount of \$5,591.21

CERTIFICATION AS TO AVAILABILITY OF FUNDS

I herewith certify that there are adequate funds available for the contract noted above per bond ordinance 2012-15 in the amount of \$20,000,000.

Robbin D. Kirk
Chief Financial Officer

Mayor Doherty offered the above resolution and moved its adoption.

Seconded by Council member Deicke and adopted by the following vote on roll call:

Council members:	AYES	NAYS	ABSTAIN	ABSENT
Mrs. Deicke	X			
Mr. Magovern	X			
Mr. Bean	X			
Mrs. Nicolay	X			
Mayor Doherty	X			

Adopted: February 20, 2013

EXHIBIT M
 BID SCHEDULE & PORTIONS
 OF CONTRACT
 WITH EPIC MANAGEMENT
 (12 Pages)

No. Title and Pay Basis Amount

**BASIC PAY ITEMS - CONTRACT #2
 BOARDWALK RECONSTRUCTION
 (MATERIALS AND CONSTRUCTION)**

Successful low bidder is encouraged to develop value engineering options for this project. Successful low bidder will be asked to present potential value engineering options with Owner. Any value engineering items that are approved as advantageous to accelerate the construction timeline and result in a cost savings to the Owner, will result in the Contractor receiving 75% of the cost savings realized.

Items of Contract #2 include the same quantities as Contract #1. However Contract #2 includes both materials and construction.

C2-1. **BOARDWALK RECONSTRUCTION WITH COMPOSITE DECKING, UNIT PRICE WORK AT \$24.00**
TWENTY FOUR.....Dollars and
ZERO.....Cents per
**SQUARE FOOT, for an estimated
 215,000 SQUARE FEET equals:**
 \$5,160,000.00

- Payment for this item shall include bonds, insurance, photographic documentation, employment of necessary personnel, mobilization and demobilization, permits and fees, general clean up, utility locations, stockpiling/staging areas, site security, and equipment and manpower as indicated on the contract drawings, within the project limits. This item shall include all construction work and materials indicated on the plans including but not limited to general work; reconstruction of approximately 7,600 lineal feet of boardwalk (approximately 215,000 square feet) including but not limited to composite ("Trex" or equal) decking; southern yellow pine joists, girders and stringers; timber piles, and hardware for boardwalk. Construction materials are included with this contract.
- It is anticipated that Ocean Avenue will be closed to traffic throughout construction of this project and will be able to be utilized for material stockpile and mobilization items. Bidder shall assume same for bid pricing.
- The above scope of work outlines the general boardwalk reconstruction materials and construction items. All items required for a complete construction of the boardwalk shall be included in this pay item.

C2-2. **STREET SIDE ACCESS RECONSTRUCTION WITH COMPOSITE DECKING, UNIT PRICE WORK AT \$63.00**
SIXTY THREE.....Dollars and
ZERO.....Cents per
**SQUARE FOOT, for an estimated
 3,750 SQUARE FEET equals:**
 \$236,250.00

- Payment for this item shall include all construction work and materials indicated on the plans including but not limited to general work; reconstruction of approximately 3,750 square feet of street side access including but not limited to composite ("Trex" or equal) decking; southern yellow pine joists, girders and stringers; timber piles, and hardware for street side access. Construction materials are included with this contract.
- It is anticipated that Ocean Avenue will be closed to traffic throughout construction of this project and will be able to be utilized for material stockpile and mobilization items. Bidder shall assume same for bid pricing.
- The above scope of work outlines the general street side access reconstruction materials and construction items. All items required for a complete construction of the street side access shall be included in this pay item.

Name of Bidder: Epic Management, Inc. 00410-15

Signature of Bidder: 

<u>No.</u>	<u>Title and Pay Basis</u>	<u>Amount</u>
	BASIC PAY ITEMS – CONTRACT #2 BOARDWALK RECONSTRUCTION (MATERIALS AND CONSTRUCTION)	

Successful low bidder is encouraged to develop value engineering options for this project. Successful low bidder will be asked to present potential value engineering options with Owner. Any value engineering items that are approved as advantageous to accelerate the construction timeline and result in a cost savings to the Owner, will result in the Contractor receiving 75% of the cost savings resulted.


Items of Contract #2 include the same quantities as Contract #1. However Contract #2 includes both materials and construction.

C2-1.	BOARDWALK RECONSTRUCTION WITH COMPOSITE DECKING, UNIT PRICE WORK AT \$24.00TWENTY FOUR.....Dollars andZERO..... Cents per SQUARE FOOT, for an estimated 215,000 SQUARE FEET equals:	\$5,160,000.00
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- Payment for this item shall include bonds, insurance, photographic documentation, employment of necessary personnel, mobilization and demobilization, permits and fees, general clean up, utility locations, stockpiling/staging areas, site security, and equipment and manpower as indicated on the contract drawings, within the project limits. This item shall include all construction work and materials indicated on the plans including but not limited to general work; reconstruction of approximately 7,000 lineal feet of boardwalk (approximately 215,000 square feet) including but not limited to composite ("Trex" or equal) decking; southern yellow pine joists, girders and stringers; timber piles, and hardware for boardwalk. Construction materials are included with this contract.
- It is anticipated that Ocean Avenue will be closed to traffic throughout construction of this project and will be able to be utilized for material stockpile and mobilization items. Bidder shall assume same for bid pricing.
- The above scope of work outlines the general boardwalk reconstruction materials and construction items. All items required for a complete construction of the boardwalk shall be included in this pay item.

C2-2.	STREET SIDE ACCESS RECONSTRUCTION WITH COMPOSITE DECKING, UNIT PRICE WORK AT \$63.00SIXTY THREE.....Dollars andZERO..... Cents per SQUARE FOOT, for an estimated 3,750 SQUARE FEET equals:	\$236,250.00
-------	--	---------------------

- Payment for this item shall include all construction work and materials indicated on the plans including but not limited to general work; reconstruction of approximately 3,750 square feet of street side access including but not limited to composite ("Trex" or equal) decking; southern yellow pine joists, girders and stringers; timber piles, and hardware for street side access. Construction materials are included with this contract.
- It is anticipated that Ocean Avenue will be closed to traffic throughout construction of this project and will be able to be utilized for material stockpile and mobilization items. Bidder shall assume same for bid pricing.
- The above scope of work outlines the general street side access reconstruction materials and construction items. All items required for a complete construction of the street side access shall be included in this pay item.

Name of Bidder: Epic Management, Inc. 00410-15 Signature of Bidder: 

No.

Title and Pay Basis

Amount

**BASIC PAY ITEMS - CONTRACT #2
BOARDWALK RECONSTRUCTION
(MATERIALS AND CONSTRUCTION)**

C2-3.

**BEACH ACCESS RECONSTRUCTION WITH COMPOSITE
DECKING, UNIT PRICE WORK AT \$45.00**
..... FORTY FIVE Dollars and
..... ZERO Cents per
**SQUARE FOOT, for an estimated
6,600 SQUARE FEET equals:**

\$ 297,000.00

- Payment for this item shall include all construction work indicated on the plans including but not limited to general work; reconstruction of approximately 6,600 square feet of beach access including but not limited to composite ("Trex" or equal) decking; southern yellow pine joists, girders and stringers; timber piles, and hardware for beach access. Construction materials are included with this contract.
- It is anticipated that Ocean Avenue will be closed to traffic throughout construction of this project and will be able to be utilized for material stockpile and mobilization items. Bidder shall assume same for bid pricing.
- The above scope of work outlines the general items of the beach access reconstruction for materials and construction labor items. All labor and materials required for a complete construction of the beach access shall be included in this pay item.

C2-4.

EARLY COMPLETION INCENTIVE, ALLOWANCE AT
..... One hundred thousand Dollars and
..... ZERO Cents per,
ALLOWANCE equals:

\$ 100,000.00

- The above incentive allowance shall be accounted for in your total bid price. This total will be paid to the Contractor for project completion prior to the April 30, 2013 project deadline, in accordance with the "Agreement" and "Supplemental Conditions" of this specification.

**TOTAL "CONTRACT #2" BID AMOUNT:
(for determining Bid Security)**

FIVE MILLION SEVEN HUNDRED NINETY THREE THOUSAND THE HUNDRED FIFTY
..... DOLLARS and
..... ZERO CENTS

\$ 5,793,250.00

- Contract #2 includes construction and materials. The materials utilized in this construction include but are not limited to the following:
 - 12" diameter southern yellow pine #2 pile, class B, ASTM D25, 25' long CCA treated 0.8pcf;
 - 1" diameter thru bolts, 18" long, ASTM A307, hot-dip galvanized;
 - 1" diameter nuts, ASTM A307 hot-dip galvanized;
 - 1" diameter ogee washer, ASTM A307, hot-dip galvanized;

Name of Bidder: Epic Management, Inc. 00410-16

Signature of Bidder: 

No.

Title and Pay Basis

Amount

**BASIC PAY ITEMS - CONTRACT #2
BOARDWALK RECONSTRUCTION
(MATERIALS AND CONSTRUCTION)**

- 1/2" diameter thru bolts 10" long, ASTM A307, hot-dip galvanized;
- 1/2" diameter nuts, ASTM A307, hot-dip galvanized;
- 1/2" diameter plate washer, ASTM A307, hot-dip galvanized;
- 6"x6"x12' southern yellow pine #2 post, CCA treated 0.6pcf;
- 4"x12"x10' southern yellow pine #2 girder, CCA treated 0.6pcf;
- 4"x12"x12' southern yellow pine #2 girder, CCA treated 0.6pcf;
- 4"x12"x14' southern yellow pine #2 girder, CCA treated 0.6pcf;
- 4"x12"x16' southern yellow pine #2 girder, CCA treated 0.6pcf;
- 3"x10"x16' southern yellow pine #2 stringer, CCA treated 0.6pcf;
- 2"x4"x8' southern yellow pine #2, CCA treated 0.6pcf;
- Simpson Strong-tie twist strap, type MTS-12, stainless steel;
- Simpson sloped rafter hanger, type LSSUH310, stainless steel;
- 2"x6" Trex Transcend Decking or equal, minimum 16' lengths;
- Simpson Strong-tie Dexter stainless steel painted deck screws, 3" long;
- Galvanized 1/2" diameter x 24" long anchor spikes;
- 3/8"x5" galvanized lag screws;
- 3/8"x1-1/2" galvanized lag screws;
- 3"x3"x3/16", 4" long galvanized clip angles with (2) 1/2" diameter holes in each leg.

List is not all inclusive. Any miscellaneous hardware, temporary framing, glue, etc., necessary for the complete construction of the boardwalk and access, outside of the above list is, to be supplied by the Contractor.

Name of Bidder: Epic Management, Inc. 00410-17

Signature of Bidder: 

No.

Title and Pay Basis

Amount

**ALTERNATE "A" CONTRACT #2 PAY ITEMS
BOARDWALK RECONSTRUCTION
(MATERIALS AND CONSTRUCTION)**

C2-A1. BOARDWALK RECONSTRUCTION WITH IPÉ DECKING IN LIEU OF COMPOSITE DECKING, UNIT PRICE

ADDITION of \$3.40

DEDUCTION of

..... ~~THREE~~ Dollars and
..... ~~FIFTY~~ Cents per

SQUARE FOOT for an estimated
215,000 SQUARE FEET equals:

\$ 731,000.00

C2-A2. STREET SIDE ACCESS RECONSTRUCTION WITH IPÉ DECKING IN LIEU OF COMPOSITE DECKING, UNIT PRICE

ADDITION of \$3.40

DEDUCTION of

..... ~~THREE~~ Dollars and
..... ~~FOURTY~~ Cents per

SQUARE FOOT for an estimated
3,750 SQUARE FEET equals:

\$ 12,750.00

C2-A3. BEACH ACCESS RECONSTRUCTION WITH IPÉ DECKING IN LIEU OF COMPOSITE DECKING, UNIT PRICE

ADDITION of \$3.40

DEDUCTION of

..... ~~THREE~~ Dollars and
..... ~~FOURTY~~ Cents per

SQUARE FOOT for an estimated
6,600 SQUARE FEET equals:

\$ 22,440.00

**TOTAL ALTERNATE "B" BID AMOUNT:
(for determining Bid Security)**

..... ~~SEVEN HUNDRED SIXTY SIX THOUSAND ONE HUNDRED NINETY~~ Dollars and
..... ~~ZERO~~ Cents

\$ 766,190.00

* "Contract #2 Alternate B" includes construction and materials. Alternate shall include the total price addition/deduction to the base bid for the installation price difference to install 5/4"x6" grooved Ipe decking in lieu of composite decking. Materials utilized in the construction of this Alternate include but are not limited to the following:

Name of Bidder: Epic Management, Inc. 00410-18

Signature of Bidder: 

No.

Title and Pay Basis

Amount

ALTERNATE "A" CONTRACT #2 PAY ITEMS
BOARDWALK RECONSTRUCTION
(MATERIALS AND CONSTRUCTION)

- 12" diameter southern yellow pine #2 pile, class B, ASTM D25, 25' long CCA treated 0.6pcf;
- 1" diameter thru bolts, 18" long, ASTM A307, hot-dip galvanized;
- 1" diameter nuts, ASTM A307 hot-dip galvanized;
- 1" diameter ogee washer, ASTM A307, hot-dip galvanized;
- 3/4" diameter thru bolts 10" long, ASTM A307, hot-dip galvanized;
- 3/4" diameter nuts, ASTM A307, hot-dip galvanized;
- 3/4" diameter plate washer, ASTM A307, hot-dip galvanized;
- 6"x6"x12' southern yellow pine #2 post, CCA treated 0.6pcf;
- 4"x12"x10' southern yellow pine #2 girder, CCA treated 0.6pcf
- 4"x12"x12' southern yellow pine #2 girder, CCA treated 0.6pcf;
- 4"x12"x14' southern yellow pine #2 girder, CCA treated 0.6pcf;
- 4"x12"x16' southern yellow pine #2 girder, CCA treated 0.6pcf;
- 3"x10"x16' southern yellow pine #2 stringer, CCA treated 0.6pcf;
- 3"x12"x16' southern yellow pine #2 stringer, CCA treated 0.6pcf;
- 1"x4"x8' southern yellow pine #2, CCA treated 0.6pcf;
- Simpson Strong-tie twist strap, type MTS-12, stainless steel;
- Simpson sloped rafter hanger, type LSSUH310, stainless steel;
- 3/4"x6" grooved Ipt decking, minimum 8' lengths;
- Swanson stainless steel deck screws, 3" long;
- Galvanized 1/2" diameter x 24" long anchor spikes;
- 3/8"x5" galvanized lag screws;
- 3/8"x2-1/2" galvanized lag screws;
- 3"x3"x3/16", 4" long galvanized clip angles with (2) 1/2" diameter holes in each leg.

List is not all inclusive. Any miscellaneous hardware, temporary framing, glue, etc., necessary for the complete construction of the boardwalk and access, outside of the above list is, to be supplied by the Contractor.

Name of Bidder: Epic Management, Inc. 00410-19

Signature of Bidder: 

No. Title and Pay Basis Amount

ALTERNATE "B" CONTRACT #2 PAY ITEMS
 BOARDWALK RECONSTRUCTION
 (MATERIALS AND CONSTRUCTION)

C2-B1. SEA WALL, UNIT PRICE WORK at \$510.00
 FIVE HUNDRED TEN Dollars and
 ZERO Cents per
 LINEAR FOOT for an estimated
 7,750 LINEAR FEET equals:
 \$3,952,500.00

* Payment for this item shall include all materials AND labor required to install a steel sheet pile sea wall, adjacent to the proposed boardwalk, at locations as depicted on the plans.

C2-B2. DECORATIVE SEA WALL CAP, UNIT PRICE WORK at \$74.00
 SEVENTY FOUR Dollars and
 ZERO Cents per
 LINEAR FOOT for an estimated
 7,750 LINEAR FEET equals:
 \$573,500.00

* Payment for this item shall include all materials AND labor required to install timber, composite decking and hardware sea wall cap at locations as depicted on the plans.

TOTAL ALTERNATE "B" BID AMOUNT:
 (for determining Bid Security)
 FOUR MILLION FIVE HUNDRED TWENTY SIX THOUSAND Dollars and
 ZERO Cents
 \$4,526,000.00

Note to Bidder:

This project has been split into two separate Contracts - Contract #1 and Contract #2. Contract #1 includes all construction labor for the reconstruction of the boardwalk, street side access, and beach access. The procurement of materials for Contract #1 will be by others. Contract #2 includes all materials and construction labor for the reconstruction of the boardwalk, street side access, and beach access. Bidders are advised that one contract will be awarded for the lowest combined total of Contract #1 or Contract #2 only, not both, including selected alternates. END OF SCHEDULE.

Name of Bidder: Epic Management, Inc. 00410-20

Signature of Bidder: 

NOTICE OF AWARD

OWNER: Borough of Belmar

WORK TITLE: Belmar Boardwalk Reconstruction Project

DATE OF NOTICE OF AWARD: December 12, 2012

**TO: Epic Management, Inc.
136 Eleventh Street
Piscataway, NJ 08854**

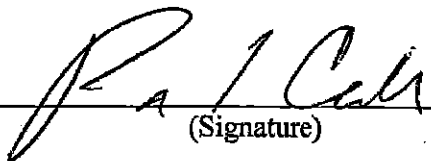
1. Notification. You are hereby notified that your Bid has been accepted by OWNER and you are designated "Successful Bidder". Enclosed is a copy of OWNER's resolution regarding the award of a contract.

2. Agreement. Enclosed are four (4) copies of completed and unsigned Agreement that refers to the Schedule of Prices submitted with your Bid.

3. Project Labor Agreement. You are required to negotiate a Project Labor Agreement (PLA) with the Monmouth-Ocean County Building and Construction Trades Council, AFL-CIO and required Union Affiliates. See Appendix A for a Sample Project Labor Agreement.

4. Successful Bidder's Obligations. You must comply with the requirements regarding Successful Bidder's Obligations as set forth in the Instruction to Bidders.

BY: _____


(Signature)

Paul T. Calabrese, P.E.

Via:

Certified Mail, Return Receipt Requested

Hand Deliver: UPS Ground

Date: _____

Received by: _____


RESOLUTION NO. 2012-266

RESOLUTION AWARDING CONTRACT FOR CONSTRUCTION OF THE BELMAR BOARDWALK

WHEREAS, on December 11, 2012 the Borough of Belmar received bids for the construction of the boardwalk;

WHEREAS, "Certification As To Availability Of Funds" is annexed hereto.

NOW, THEREFORE, BE IT RESOLVED by the Borough Council on this 12th day of December 2012, that:

1. Contract is awarded to Epic Group Inc., 136 Eleventh Street, Piscataway, NJ as follows:

Contract 2 - \$5,793,250
Contract 2 Alternate A - \$766,190
Contract 2 Alternate B - \$4,526,000

CERTIFICATION AS TO AVAILABILITY OF FUNDS

I herewith certify that there are adequate funds available pending the end of the estoppels period for bond ordinance 2012-15 for the proposed contract noted above in the amount of \$20,000,000.

Robbin D. Kirk
Chief Financial Officer

Mayor Doherty offered the above resolution and moved its adoption.

Seconded by Council member Deicke and adopted by the following vote:

Councilmembers:	AYES	NAYS	ABSTAIN	ABSENT
Mrs. Deicke	X			
Mr. Magovern	X			
Mr. Bean	X			
Mrs. Nicolay	X			
Mayor Doherty	X			

Adopted: December 12, 2012

AGREEMENT

in conjunction with Belmar Boardwalk Reconstruction Project, (hereinafter "Work Title")

THIS AGREEMENT by and between:

Borough of Belmar, 601 Main Street, Belmar, NJ 07719 (hereinafter "OWNER")

and Epic Management, Inc., 136 Eleventh Street, Piscataway, NJ 08854 (hereinafter "CONTRACTOR")

OWNER and CONTRACTOR, for and in consideration of the mutual covenants, promises, and agreements hereinafter set forth, agree to and with each other as follows:

1. Defined Terms. Terms used in this Agreement which are defined in the General Conditions and Supplementary Conditions shall have the meanings indicated therein.

2. CONTRACTOR agrees to perform the Work in accordance with the Contract Documents.

3. OWNER agrees to pay CONTRACTOR for the Work in accordance with the Contract Documents.

4. Contract Documents. The Contract Documents which comprise the entire Agreement between OWNER and CONTRACTOR are as defined in the General Conditions and do not include addenda.

5. Work. Pursuant to paragraph 1.01.A.48 of the General Conditions, the Work is listed on the Schedule of Prices Basic Pay Items – Contract #2 and is amended hereby to select the Alternate "A" Contract #2 and Alternate "B" Contract #2 Pay Items.

6. Notice to Proceed. Pursuant to paragraph 2.03.A of the General Conditions, a Notice to Proceed may be issued any time within thirty (30) days after the Effective Date of the Agreement.

7. Commencement of Contract Time. Pursuant to paragraph 2.03.A of the General Conditions, Contract Time shall commence on the thirtieth day after the Effective Date of the Agreement or, if a Notice to Proceed is given, on the day indicated in the Notice to Proceed.

8. Contract Times. Contract Times hereby are made of the essence. Pursuant to paragraph 1.01.A.14 of the General Conditions:

(a) Substantial Completion. No separate Contract Time is applicable to substantial completion; and neither tentative nor definitive certificates regarding substantial completion will be issued pursuant to paragraph 14.04 of the General Conditions.

(b) Final Payment. The Work shall be complete and ready for final payment pursuant to paragraph 14.07 of the General Conditions. **The project shall commence by Wednesday, January 9, 2013, and be completed by Tuesday, April 30, 2013.**

9. Contract Price. Pursuant to paragraph 1.01.A.13 of the General Conditions, the Contract Price for the Work is **Eleven Million Eighty Five Thousand Four Hundred Forty Dollars (\$11,085,440.00)**, as defined by the Contract #2 Base Bid Amount of **Five Million Seven Hundred Ninety Three Thousand Two Hundred Fifty Dollars (\$5,793,250.00)**, the Alternate A Bid Amount of **Seven Hundred Sixty Six Thousand One Hundred Ninety Dollars (\$766,190.00)**, and the Alternate B Bid Amount of **Four Million Five Hundred Twenty Six Thousand Dollars (\$4,526,000.00)**.

10. Retainage. Pursuant to paragraph 14.02.A.3 of the General Conditions, retainage hereby is established as follows: Two (2) Percent if the Contract Price Exceeds One Hundred Thousand Dollars (\$100,000); or Ten (10) percent if the Contract Price is One Hundred Thousand Dollars (\$100,000) or less.

11. Progress Payments. Pursuant to paragraph 14.02 of the General Conditions, progress payments will be made based on the Schedule of Prices less retainage and all other deductions applicable in accordance with the Contract Documents.

12. Damages. Pursuant to paragraph SC-12.04 of the Supplementary Conditions, damages are established at: the greater of Five Thousand dollars (\$8,000.00) per day or one twentieth of one percent (0.0005) per day multiplied by the Contract Price.

13. Incentives for Early Completion. Should construction be completed prior to the Tuesday, April 30, 2013 completion date, incentives may be paid to the Contractor pursuant to paragraph SC-12.04C of the Supplementary Conditions.

14. Prevailing Wages. Pursuant to New Jersey statutory requirements (P.L. 1963, C. 150), a wage determination for the Work in effect on the date of the Notice of Award and made by the New Jersey Department of Labor is made a part of this Agreement by reference and shall apply as if set forth herein at length. ENGINEER shall request the aforementioned wage determination, maintain it on file during the Work, and provide a copy to the CONTRACTOR upon request.

15. Mandatory Affirmative Action Language. CONTRACTOR and all subcontractors shall comply with the provisions of N.J.S.A. 10:5-31 et seq., and N.J.A.C. 17:27 and the regulations adopted thereunder, and specifically agree to comply with the terms and conditions of Exhibit B Mandatory Affirmative Action Language which is attached hereto and made a part of the Contract Documents.

16. Construction Contract Reports. Pursuant to Exhibit B Mandatory Affirmative Action Language, and rules and regulations related thereto, CONTRACTOR shall complete and submit monthly project manning reports as prescribed by the Division of Contract Compliance and Equal Employment Opportunity Office.

17. Project Labor Agreement. CONTRACTOR and all subcontractors are required to negotiate a Project Labor Agreement (PLA) with the Monmouth-Ocean County Building and Construction Trades Council, AFL-CIO and required Union Affiliates. See Appendix A for Sample Project Labor Agreement.

18. ENGINEER. Pursuant to paragraph 1.01.A.19 of the General Conditions, Engineer is as named as follows: Birdsall Services Group, Inc., a New Jersey Corporation with offices at 611 Industrial Way West, Eatontown, New Jersey 07724.

19. ENGINEER's Consultant. Pursuant to paragraph 1.01.A.20 of the General Conditions, ENGINEER's Consultant is named as follows: None

20. Prohibition on Assignment. CONTRACTOR shall not assign or transfer any of its rights or interests in this Agreement without the written consent of the Owner.

21. Permits. Pursuant to Supplementary Condition 6.08A of the General Conditions, CONTRACTOR is responsible to obtain all permits required for the work except those secured by the OWNER. The OWNER has obtained certain permits and approvals which were required by law or regulation to obtain, copies of which are attached to these contract documents and made a part hereof this Agreement. The CONTRACTOR shall comply with the conditions and requirements of said permits and approvals which relate to construction and performance of the work.

IN WITNESS WHEREOF, OWNER and CONTRACTOR have signed this Agreement.

CONTRACTOR:

Epic Management, Inc.

Authorized Signature: _____

Name and Title: _____

John Epifano, President

Attest: (Signature) _____

Name and Title: _____

John Robbins, Project Manager

Signature Date: _____

12 27 12

OWNER:

Borough of Belmar

Authorized Signature: _____

Name and Title: _____

Attest: (Signature) _____

Name and Title: _____

Effective Date of the Agreement: _____



BIRDSALL SERVICES GROUP
ENGINEERS & CONSULTANTS

EXHIBIT N
C.O. No. 1 to Contract
with Epic Management
(2 Pages)

March 1, 2013

Job No. 00002-117000

Borough of Belmar
P.O. Box A
601 Main Street
Belmar, NJ 07719

Attn: Patty Zwirz, Accounts Payable

Re: Contract: Belmar Boardwalk Reconstruction Project
Contractor: Epic Management, Inc.

Dear Ms. Zwirz:

Enclosed please find the following regarding the above captioned project:

1. Four (4) copies of Change Order No 1 for a net increase of \$1,401,651.55.

Please return two (2) executed change orders for our files.

Should you have any questions or require additional information, please do not hesitate to contact this office.

Very truly yours,

BIRDSALL SERVICES GROUP, INC.

Katherine L. Elliott

Katherine L. Elliott, P.E.
Project Manager

KLE:dm
Enclosures

cc: Colleen Connolly, Borough Administrator
Robbin Kirk, Chief Financial Officer
Epic Management, Inc.
Paul T. Calabrese, P.E., Vice President – Public Engineering



MEMORANDUM

TO: COLLEEN CONNOLLY, BELMAR BUSINESS ADMINISTRATOR

FROM: PAUL CALABRESE, P.E.

DATE: May 6, 2013

RE: BELMAR BOARDWALK STRUCTURAL SUPPORT REVISIONS

Colleen,

In order to strengthen the boardwalk design to meet all applicable codes and standards without the presence of a seawall, the boardwalk construction project required a change order. The original design had much less substantial flood and wind loads due to the anticipated presence of the seawall. The removal of the seawall from the design puts the boardwalk in the direct path of the ocean and open-water winds during severe storms. The seawall was part of the design to alleviate flood loads, wave loads, and wind loads on the boardwalk structure, but as a result of its removal from the design, the boardwalk needed significant strengthening to sustain these loads during catastrophic storms like Sandy.

On November 20, 2012, the Borough met with FEMA representatives to discuss the inclusion of a steel sheetpile seawall to protect the future boardwalk. This design element was included in the construction bid project in the anticipation that funding would be available for construction. On January 10, 2013 during another meeting with FEMA representatives, it became clear that funding for the seawall could not be confirmed in the timeframe required to complete construction of the seawall and the boardwalk in time for the Summer 2013 tourist season. As it was determined that delaying the construction of the boardwalk to await funding for the seawall would greatly impact Belmar's economy, the decision was made to move forward on the boardwalk construction without the seawall.

Additionally, the original intent of the Borough was to construct the boardwalk with Ipe hardwood decking, an extremely strong and durable natural decking material. Due to environmental pressure and rising concern that an outside environmentalist group intended to stifle the boardwalk construction as a result, the Borough decided to switch to a composite lumber (Trex) decking instead. Trex, while still a strong material, does not have nearly the same structural capacity as Ipe decking. Though the base bid for the project included a Trex deck, the substructure and deck connection system were developed only for the Ipe deck, as it was understood that the Borough would prefer the Ipe unless the bids for Ipe decking came back as too high of a cost.

After the contracts were executed, the seawall and Ipe decking were removed from the project, so it became necessary to strengthen the boardwalk to meet design standards. The lack of

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seawall protection requires substantially increased design strength against direct strikes from future storms in accordance with loading requirements of design codes ASCE 7 and the International Building Code (IBC). This increased strength was provided in the superstructure with additional joists and additional deck screws to account for these increased flood, wave, and impact loadings. The additional joists and deck screws serve doubly to account for the reduction in decking strength from switching from Ipe to Trex. Lastly, the bond strength between the decking screws and Trex is lower than that of Ipe, necessitating the use of additional screws to account for uplift protection from wave action. These essential design modifications resulted in additional labor and materials for the contractor, creating the need for a change order.

To significantly strengthen the boardwalk as required, 16,000 LF of 3"x10" joists; 1,800 sets of 3/4" diameter bolts, nuts and washers; 8,200 LF of 2"x4" blocking; 1,800 hurricane straps; and over 300,000 screws were added to the project. Below are cross sections showing the previously existing boardwalk (Figure 1), the boardwalk that was part of the public bid which included the Ipe Deck and the seawall (Figure 2), and the revised cross section for the Trex deck and no seawall (Figure 3).

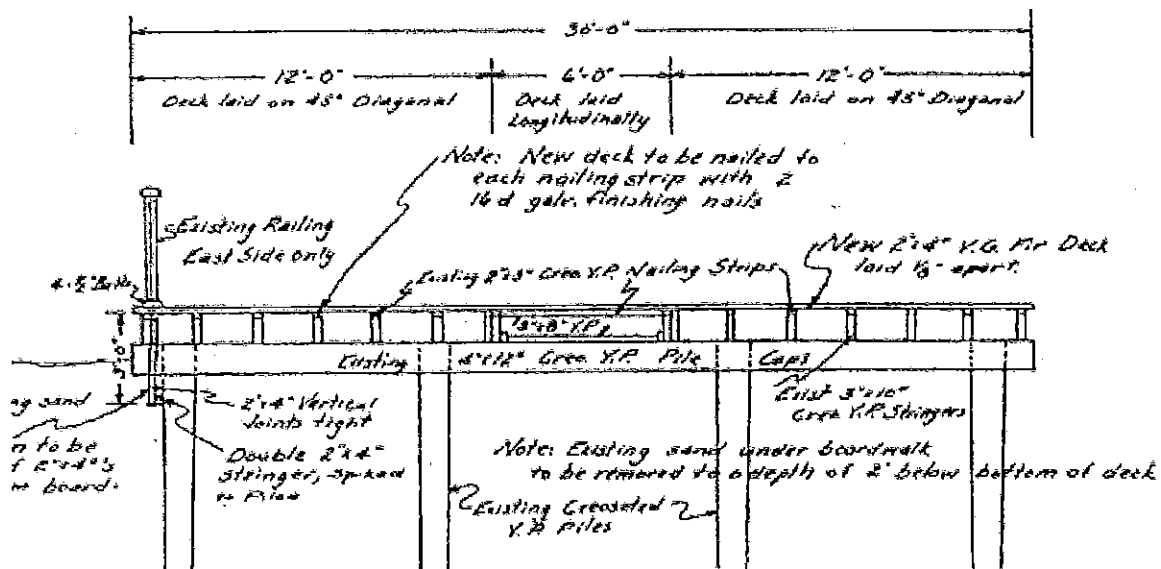


Figure 1. PREVIOUSLY EXISTING BOARDWALK SECTION

The old boardwalk was comprised of creosote timber framing and piles (no longer allowed by law). It consisted of a 4"x12" girder, 3" x 10" stringers and a nailer strip. There were no hurricane straps and the deck was connected to the stringers with nails in many areas. This boardwalk did not meet current codes and standards and did not hold up to Superstorm Sandy.

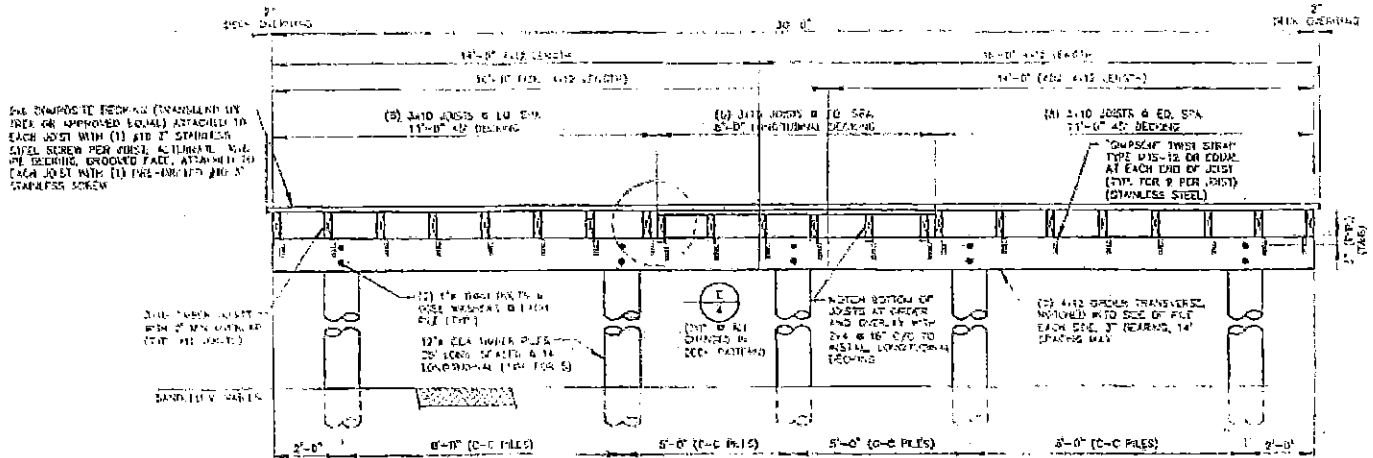


Figure 2. BOARDWALK DESIGN WITH SEAWALL AND IPE DECK

The typical sections shown on the bid documents were in place as a result of the anticipated presence of a seawall and the understanding that Belmar would install an Ipe decking system unless the cost for Ipe was exorbitant. The proposed boardwalk at the time of bid consisted of 12" diameter piles, with a double 4x12 girder and 3x10 joists.

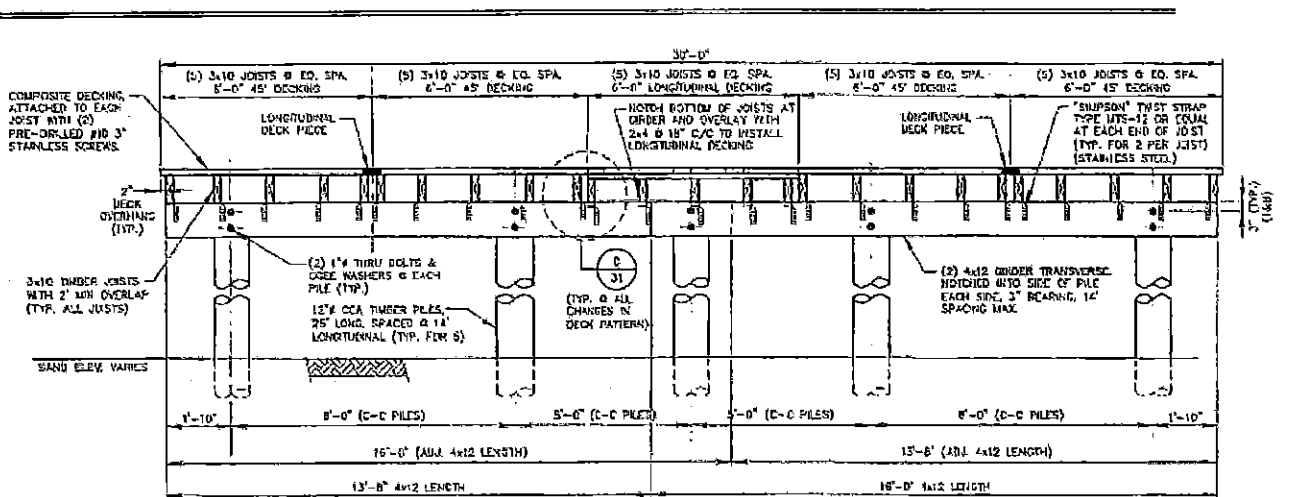


Figure 3. BOARDWALK DESIGN WITH TREX DECK

Once it was determined that the Boardwalk would have a Trex decking and that there will be no seawall protecting the boardwalk initially, additional structure supports needed to be added to the boardwalk. Note in the above section the additional stringers, hurricane straps and screws added to the section. As stated above, the screws were required due to the change from Ipe to Trex and the direct wave and impact loads. Also due to this change, additional stringers were required to support the decking and also to make the boardwalk more robust in accordance with codes and standards to better sustain future storm events.

EXHIBIT P

INSPECTION & DAMAGE ASSESSMENT

(5 pages)

Superstorm Sandy Beachfront Damage Assessment

Item	Location	Insp. Report	Comments	Estimate	Estimate Comments
1	2nd Ave. Boardwalk Seating Area		Seating areas included seating areas, benches, light fixtures, trash receptacles and planters were all destroyed by wave action.	\$6,500	Incl. seating and planter areas. Does not include boardwalk ext.
2	3rd Ave. Comfort Station		This semi-permanent facility, a mobile restroom trailer, was destroyed in the storm.	\$130,000	Incl. Boardwalk extension, concrete access slab, utility connections, pilings
3	4th Ave. Beach Badge Booth		This wood booth was destroyed in the storm.	\$5,000	
4	Taylor (5th Ave) Pavilion	X	The building was destroyed during the storm and included a kitchen/restaurant/outdoor eating area concession unit, meeting space, and bathrooms	\$1,200,000	Does not include kitchen equipment and tenant furnishings/equipment.
5	6th Ave. Comfort Station		This semi-permanent facility, a mobile restroom trailer, was destroyed in the storm.	\$130,000	Incl. Boardwalk extension, concrete access slab, utility connections, pilings
6	8th Ave. Playground	X	Equipment floated away or was destroyed by other floating structures /debris	\$65,500	Does not include kitchen equipment and tenant furnishings/equipment.
7	8th Ave. Pavilion	X	This building was destroyed during the storm. The structure included a concession stand (rented out by the borough) and public bathrooms.	\$500,000	Incl. seating and planter areas. Does not include boardwalk ext.
8	8th Ave. Boardwalk Seating Area		Seating areas included seating areas, benches, light fixtures, trash receptacles and planters were all destroyed by wave action.	\$6,500	
9	10th Ave. Comfort Station		This semi-permanent facility, a mobile restroom trailer, was destroyed in the storm.	\$130,000	Incl. Boardwalk extension, concrete access slab, utility connections, pilings
10	10th Ave. Playground	X	Equipment floated away or was destroyed by other floating structures /debris	\$65,500	
11	10th Ave. Pavilion North	X	This borough building was destroyed during the storm and will be fully replaced. The structure included three concession units (rented out by the borough) and public bathrooms.		Incl. both north & south pavilions. Does not include kitchen equipment and tenant furnishings/equipment.
12	10th Ave Pavilion South (Lifeguard HQ)	X	This building was destroyed during the storm. The structure was used as the Belmar Beach Patrol headquarters, containing office/storage area, and men/women locker rooms.	\$775,000	
13	11th Ave Beach Badge Booth	X	This wood booth was destroyed in the storm.	\$5,000	Does not include kitchen equipment and tenant furnishings/equipment.
14	Matisse 13th Avenue Pavilion	X	The building was destroyed during the storm and included a kitchen/restaurant/deck (Matisse restaurant) concession unit	\$750,000	
15	15th Ave. Beach Badge Booth	X	This wood booth was destroyed in the storm.	\$5,000	
16	16th Ave. Comfort Station		This semi-permanent facility, a mobile restroom trailer, was destroyed in the storm.	\$130,000	Incl. Boardwalk extension, concrete access slab, utility connections, pilings
17	17th Ave. Playground		Equipment floated away or was destroyed by other floating structures /debris	\$65,500	
18	17th Ave. Beach Badge Booth		This wood booth was destroyed in the storm.	\$5,000	

19	17th Ave. Boardwalk Seating Area	17th and Ocean	Seating areas included seating areas, benches, light fixtures, trash receptacles and planters were all destroyed by wave action.	\$6,500	Incl. seating and planter areas. Does not include boardwalk ext.
20	19th Ave. Comfort Station	19th and Ocean	This semi-permanent facility, a mobile restroom trailer, was destroyed in the storm.	\$130,000	Incl. Boardwalk extension, concrete access slab, utility connections, pilings
21	19th Ave. Beach Badge Booth	19th and Ocean	This wood booth was destroyed in the storm.	\$5,000	
22	Dune Plantings, 6th - 10th Ave.	6th to 10th on Ocean	Dunes, dune plantings, irrigation system, and dune fence were washed away	\$35,000	Not including Sand Dunes
23	Dune Plantings, 13th - 20th Ave.	13th to 20th on Ocean	Dunes, dune plantings, irrigation system, and dune fence were washed away	\$50,000	Not including Sand Dunes
24	Dunes and Fencing	Entire Length on Ocean Ave.	Dunes and dune fence were washed away	\$8,000	
25	Water Service (incl. Showers & Irrigation)	Entire Length on Ocean Ave.	Water service to buildings, beach showers and fountains, and dune plantings irrigation were washed away or destroyed during the debris clean-up operations.	\$395,000	
26	Boardwalk and Access Ramps	Entire Length on Ocean Ave. & 20th Ave.	The entire length of timber boardwalk was damaged by waves. About 20% of the piles are of shorter length piles were undermined or pulled out. The heads of much of the remainder were damaged due to the pulling/twisting of the joists and girders by wave action. The remaining piles were inevitably damaged in the clean-up and removal of the structures and boardwalk debris.	\$5,793,250	Bid Price
27	Light Fixtures (Double Lamp, Receptacles, & Banner Arms)	Entire Length on Ocean Ave.	Light fixtures and electric were damaged or destroyed during the storm or the debris clean-up operations.	\$750,000	Incl. Electrical work and light fixtures
28	Underground utilities and service connections.	Entire Length on Ocean Ave.	Sewer laterals, water laterals, storm drain system, electrical services.	\$50,000	
29	Benches, Trash Receptacles, bicycle racks	Entire Length on Ocean Ave.	All were washed away or destroyed in storm	\$250,000	
30	Damaged Fire Hydrants	Entire Length on Ocean Ave.	12 Fire Hydrants at various locations on Ocean Ave. and on A St. were damaged or missing as a result of being hit by floating debris	\$50,000	
31	Boardwalk Signage	Entire Length on Ocean Ave.	The entire length of timber boardwalk was damaged by waves. All signage associated with the boardwalk was destroyed.	\$20,000	
32	Access Ramps Railings	Entire Length on Ocean Ave.	The entire length of timber boardwalk was damaged by waves. All railings associated with the boardwalk access ramps was destroyed.	\$425,000	2 rail, 2" diameter, alum.
33	Concrete Beach Access Ramps	at 3rd, 11th, and 20th Ave.	Does not include the concrete access ramps located at comfort stations	\$38,000	
				\$11,980,250	
Status as of: 02/21/2013					
M:\Eaton\Jobs\Belmar\00002128000\Reports\Damage list.xls\Other		Ocean Front			

Property Inspection Report
Hurricane Sandy - 2012
Belmar, NJ

Date: 11/2/12

Location: 8th & Ocean

Name: Beachfront Park

Flooding Issues: None

Structural Review: total destruction of playground equipment
and swings

Utilities Review: None

Property within the
Buildings Damaged:

Property Inspection Report
Hurricane Sandy - 2012
Belmar, NJ

Date: 11/2/12

Location: 10th + Oceanrd

Name: Beachfront Park

Flooding Issues: None

Structural Review: pieces of playground destroyed, entire
playground unit ruined

Utilities Review: None

Property within the
Buildings Damaged: see above



EXHIBIT Q
CAFRA Permit

State of New Jersey

DEPARTMENT OF ENVIRONMENTAL PROTECTION

CHRIS CHRISTIE
Governor

KIM GUADAGNO
Lt. Governor

Division of Land Use Regulation
Mail Code 501-02A
P.O. Box 420
Trenton, New Jersey 08625-0420
www.state.nj.us/dep/landuse

BOB MARTIN
Commissioner

January 11, 2013

Ms. Colleen Connolly
Borough of Belmar Administrator
61 Main Street
Belmar, NJ 07719

RE: **CAFRA Individual Permit – Provisional Permit**
DLUR File No.: 1306-04-0005.1, CAF130001
Belmar Boardwalk Construction
Block: 3 Lot: p/o 3
Borough of Belmar, Monmouth County

Dear Ms. Connolly:

The Division is in receipt of your letter dated January 3, 2013, which requests permission to proceed with the construction of 450 linear feet of boardwalk between 20th Avenue and the Spring Lake Boundary, prior to issuance of the above referenced CAFRA Individual Permit.

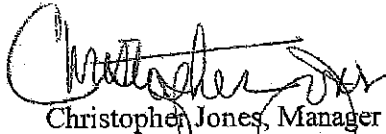
Pursuant to Administrative Order No. 2012-13 for the Reconstruction of Public Infrastructure ("AO"), the in-kind reconstruction of Belmar's boardwalk that was destroyed during Superstorm Sandy does not require permit authorization from the Division. However, the 450 LF section of boardwalk that is the subject of this letter was destroyed in the 1990s and is therefore not eligible for reconstruction under the AO. Therefore, a CAFRA Individual Permit is required for the construction of the 450 LF section. At this time, the Division has declared the CAFRA permit application complete for public comment. The start date for the public comment period will be January 23, 2013.

According to the information you submitted, the construction of the 450 LF section of the boardwalk needs to commence immediately in order for the entire boardwalk to be completed and functional by May 2013, since the summer season is critical to the Borough's tourism industry and overall recovery. In recognition of this fact and in acknowledgement of the extreme hardship faced by your municipality as a result of Sandy, the Division hereby authorizes you to proceed with the construction of 450 LF of boardwalk between 20th Avenue and the Spring Lake Boundary pursuant to N.J.A.C. 7:7-1.6, at your own risk and peril.

Please note that this authorization shall not exempt the permittee from any CAFRA requirements, nor does it exempt the permittee from complying with any future permit conditions.

I trust the above addresses your immediate concerns, but should you have any questions, please contact either myself or Janet Stewart of my staff at 609-984-6216.

Sincerely,



Christopher Jones, Manager
Bureau of Urban Growth & Redevelopment

Date: January 11, 2013

Cc: Agent
Land Use Compliance & Enforcement c/o Jen Ledesma